

SUMMARY OF VEHICLE PARKING:

INTERIOR GARAGE PARKING SPACES: 28 SPACES
 VISITOR PARKING SPACES: 11 SPACES
 DRIVEWAY PARKING (MIN. 21 FT DEPTH): 12 SPACES *
 TOTAL PARKING SPACES: 51 SPACES

* UNITS 1,2,3,4,5,6,7,8,9,10,11,12,20

LOT COVERAGE TABLE:

ITEM:	REQUIRED:	PROPOSED: S.F.	PROPOSED: %	RELIEF REQUIRED (Yes, No)
MAX. LOT COVERAGE *	35%	23,528	20.3	No
PARKING & PAVED AREAS:	N/A	25,652	22.2	N/A
MIN. OPEN SPACE:	40%	66,594	47.5	No

* BUILDINGS

OF UNITS:

28

FLOOD PLAIN NOTE:

BASED ON THE FLOOD INSURANCE RATE MAP WITH A COMMUNITY/PANEL NUMBER OF: 25017C0427E, WITH THE LATEST MAP DATE OF 6/4/2010 THIS SITE IS NOT LOCATED WITHIN A 100 YEAR FLOODPLAIN.

**"SUMMIT RIDGE"
 40B DEVELOPMENT PLAN**

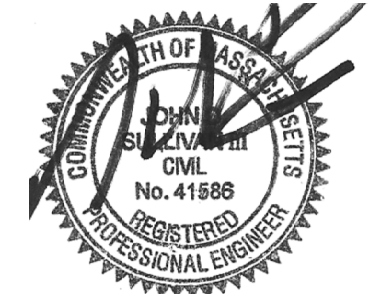
LOCATED IN
MELROSE, MASSACHUSETTS
 (MIDDLESEX COUNTY)

PREPARED BY

**SULLIVAN ENGINEERING
 GROUP, LLC**

P.O. BOX 2004
 WOBURN, MA 01888
 (781) 854-8644

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERED PROFESSIONAL ENGINEERS.



JOHN D. SULLIVAN III, P.E. DATE

PREPARED FOR

SUMMIT DEVELOPMENT, LLC

215 SALEM STREET
 WOBURN, MA 01801

DATE: OCTOBER 31, 2023

REVISED: APRIL 1, 2024

ZONING SUMMARY TABLE:

ZONING DISTRICT: UR-A

ITEM: REQUIRED: PROPOSED: RELIEF REQUIRED (Yes, No)

MIN. LOT AREA	7,500 S.F.	115,774 S.F. *	No
MIN. LOT FRONTAGE	75 FEET	70 FEET	Yes
MIN. LOT DEPTH	90 FEET	> 90 FEET	No
MIN. FRONT YARD	20 FEET	> 20 FEET	No
MIN. SIDE YARD	10 FEET	14.2 FEET	No
MIN REAR YARD	20 FEET	7.4 FEET	Yes
MIN REAR BUILDING LINE	75 FEET	> 75 FEET	No
MIN. LOT WIDTH	75 FEET	> 75 FEET	No

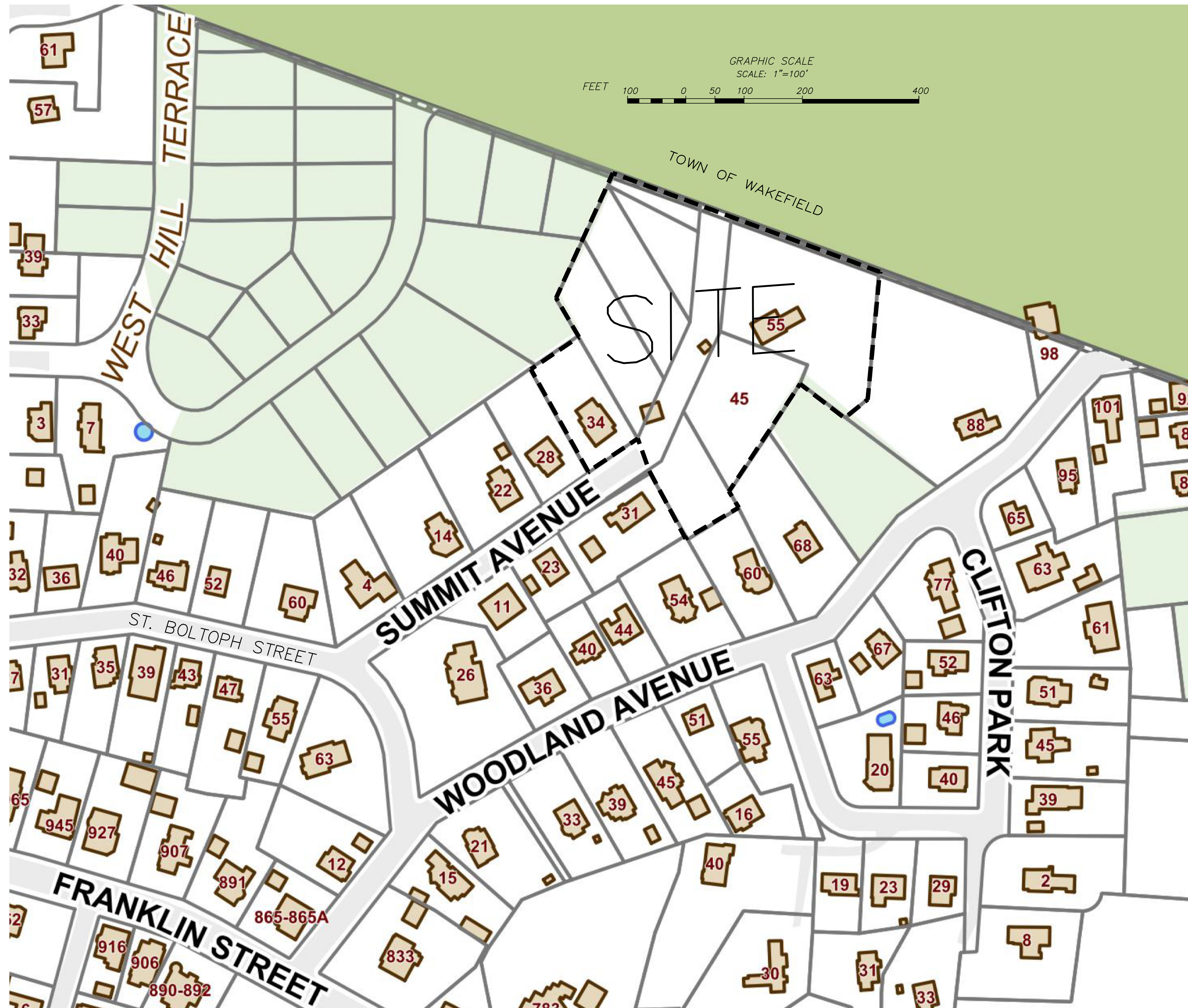
* INCLUDES RIGHT OF WAY

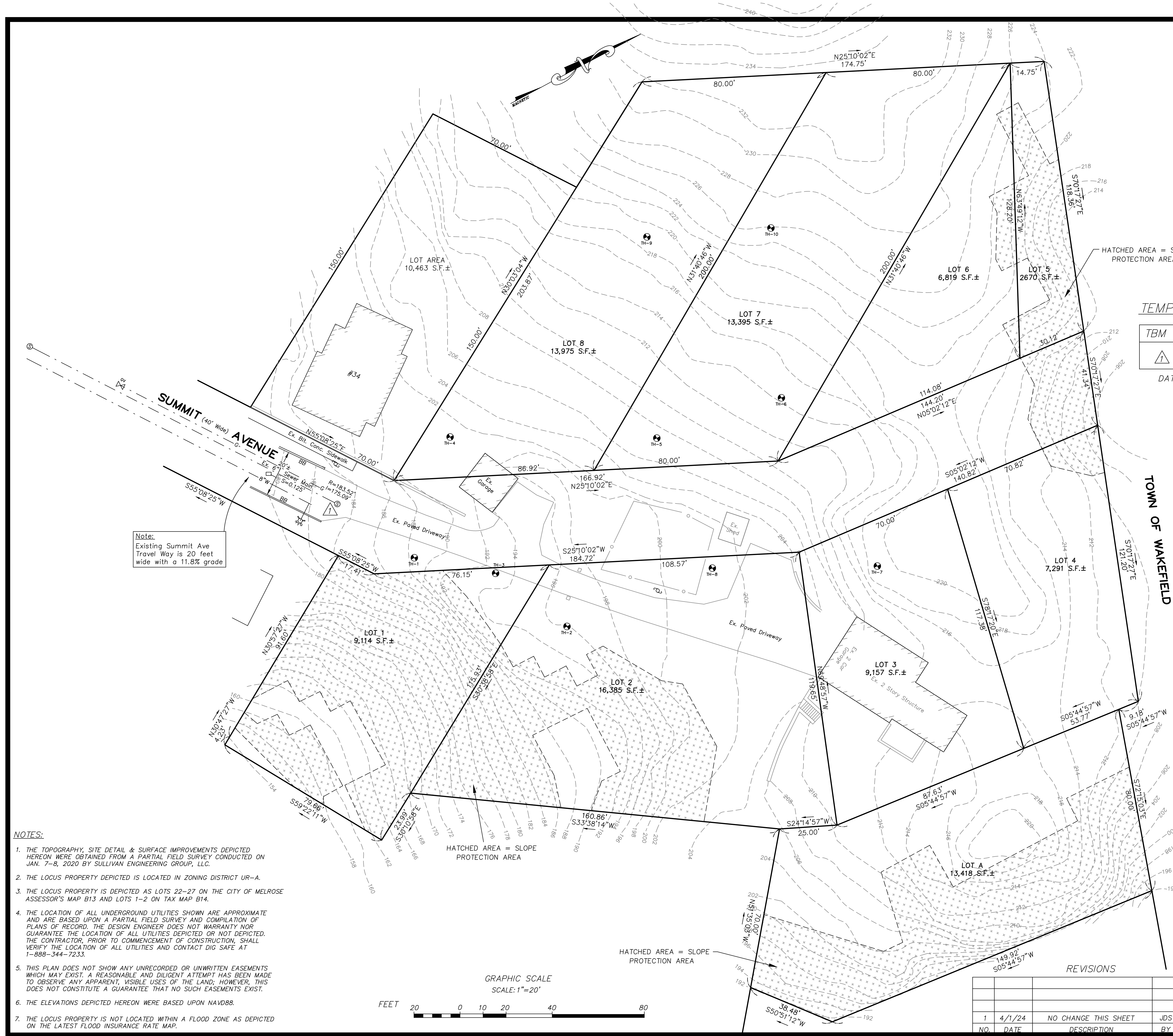
BUILDING HEIGHT

UNIT #S	MEAN ROOF GRADE (FT)	AVG. FINISHED GRADE (FT)	BUILDING HEIGHT (FT)	MAX. BLDG HEIGHT (FT)	RELIEF REQUIRED (Yes, No)
1-4	232.0'	198.25'	33.75	35.0	No
5-7	248.5'	216.5'	32.0	35.0	No
8-11	256.0'	225.75'	30.25	35.0	No
12-14	243.5'	213.75'	29.75	35.0	No
15-16	242.5'	211.5'	31.0	35.0	No
17-19	243.0'	211.75'	31.25	35.0	No
20-23	238.0'	206.0'	32.0	35.0	No
24-26	229.5'	196.5'	33.0	35.0	No
27-28	238.5'	206.87'	31.6	35.0	No

SHEET INDEX:

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 SITE PLAN
- 4 UTILITY PLAN





- LEGEND:**
- 248--- EX. TWO FOOT CONTOUR
 - ⊕ UTILITY POLE
 - ⊙ SEWER MANHOLE
 - S— SEWER MAIN
 - W— COMPILED WATER MAIN
 - CB □ CATCHBASIN
 - D— DRAIN LINE
 - BIT. BITUMINOUS
 - CONC. CONCRETE
 - EOP EDGE OF PAVEMENT
 - TH ⊕ TEST PIT
 - 248x0 SPOT GRADE
 - BB BIT. BERM

ZONING DISTRICT:
URA

APPLICANT:
ASSESSOR'S MAP B13 LOTS 23-27
ASSESSOR'S MAP B14 LOTS 1-2
SUMMIT DEVELOPMENT, LLC
215 SALEM STREET
WOBURN, MA 01801

ASSESSOR'S MAP B13 LOT 22
SUMMIT DEVELOPMENT, LLC
215 SALEM STREET
WOBURN, MA 01801

SOILS INFORMATION:
TEST PITS WERE PERFORMED BY
JOHN D. SULLIVAN III, P.E., C.S.E.
ON 11/24/20

TEST PIT: TH-1
ELEV.=188.1'
MOTTLING @ NONE
0'-6" HORIZON A: SANDY LOAM 10 YR 3/3
6'-18" HORIZON Bw: LOAMY SAND 10 YR 6/8
18'-64" C-LAYER: SANDY LOAM 2.5 Y 5/4

WATER STANDING @ NONE
REFUSAL @ 64" (ELEV=182.7')

TEST PIT: TH-2
ELEV.=196.0'
MOTTLING @ NONE
0'-28" FILL
REFUSAL @ 28" (ELEV=193.6')

TEMPORARY BENCHMARK CHART:

TBM #	DESCRIPTION	ELEV.
1	SEWER MANHOLE RIM	183.52'

DATUM: 1988 NAVD

SOILS INFORMATION:
TEST PITS (TH-3 - TH-8) WERE PERFORMED
BY JOHN D. SULLIVAN III, P.E., C.S.E.
ON 10/21/2021

TEST PIT: TH-3
0'-6" HORIZON A: SANDY LOAM 10 YR 3/3
6'-28" HORIZON Bw: LOAMY SAND 10 YR 6/8
28'-36" C-LAYER: SANDY LOAM 2.5 Y 5/4
REFUSAL @ 36"

TEST PIT: TH-4
0'-7" HORIZON A: SANDY LOAM 10 YR 3/3
7'-16" HORIZON Bw: LOAMY SAND 10 YR 6/8
REFUSAL @ 16"

TEST PIT: TH-5
0'-7" HORIZON A: SANDY LOAM 10 YR 3/3
7'-18" HORIZON Bw: LOAMY SAND 10 YR 6/8
REFUSAL @ 18"

TEST PIT: TH-6
0'-6" HORIZON A: SANDY LOAM 10 YR 3/3
6'-30" HORIZON Bw: LOAMY SAND 10 YR 6/8
REFUSAL @ 30"

TEST PIT: TH-7
0'-6" HORIZON A: SANDY LOAM 10 YR 3/3
REFUSAL @ 6"

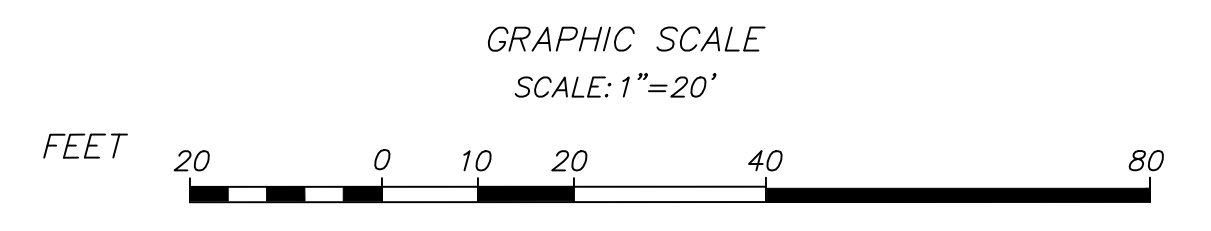
TEST PIT: TH-8
0'-55" FILL
55'-64" HORIZON A: SANDY LOAM 10 YR 3/3
REFUSAL @ 64'

TEST PIT: TH-9
0'-6" HORIZON A: SANDY LOAM 10 YR 3/3
6'-18" HORIZON Bw: LOAMY SAND 10 YR 6/8
REFUSAL @ 18"

TEST PIT: TH-10
0'-6" HORIZON A: SANDY LOAM 10 YR 3/3
6'-24" HORIZON Bw: LOAMY SAND 10 YR 6/8
REFUSAL @ 24"

Note:
Existing Summit Ave
Travel Way is 20 feet
wide with a 11.8% grade

- NOTES:**
- THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM A PARTIAL FIELD SURVEY CONDUCTED ON JAN. 7-8, 2020 BY SULLIVAN ENGINEERING GROUP, LLC.
 - THE LOCUS PROPERTY DEPICTED IS LOCATED IN ZONING DISTRICT UR-A.
 - THE LOCUS PROPERTY IS DEPICTED AS LOTS 22-27 ON THE CITY OF MELROSE ASSESSOR'S MAP B13 AND LOTS 1-2 ON TAX MAP B14.
 - THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. THE DESIGN ENGINEER DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
 - THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 - THE ELEVATIONS DEPICTED HEREON WERE BASED UPON NAVD88.
 - THE LOCUS PROPERTY IS NOT LOCATED WITHIN A FLOOD ZONE AS DEPICTED ON THE LATEST FLOOD INSURANCE RATE MAP.



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D
1	4/1/24	NO CHANGE THIS SHEET	JDS	JDS



SUMMIT RIDGE
EXISTING CONDITIONS PLAN
LOCATED IN
MELROSE, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
SUMMIT RIDGE, LLC
SCALE: 1"= 20' DATE: OCT. 31, 2023

PREPARED BY
SULLIVAN ENGINEERING GROUP, LLC
P.O. BOX 2004
WOBURN, MA 01888
(781) 854-8644

TEMPORARY BENCHMARK CHART:

TBM #	DESCRIPTION	ELEV.
△	SEWER MANHOLE RIM	183.52' *

* 1988 NAVD

LEGEND:

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- W— COMPILED WATER MAIN
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- D— DRAIN LINE
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- CONC. CONCRETE
- EOP EDGE OF PAVEMENT
- TH ⊕ TEST PIT
- 248x0 SPOT GRADE
- (100)— PROP. CONTOUR
- (100) PROP. SPOT GRADE
- "V" VISITOR PARKING
- ⊙ PROP. UNIT #
- FFE FIRST FLOOR ELEVATION
- TOF TOP OF FOUNDATION
- BB PROP. BIT. BERM

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SUMMIT RIDGE

SITE PLAN OF LAND
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MELROSE, MASSACHUSETTS
(MIDDLESEX COUNTY)

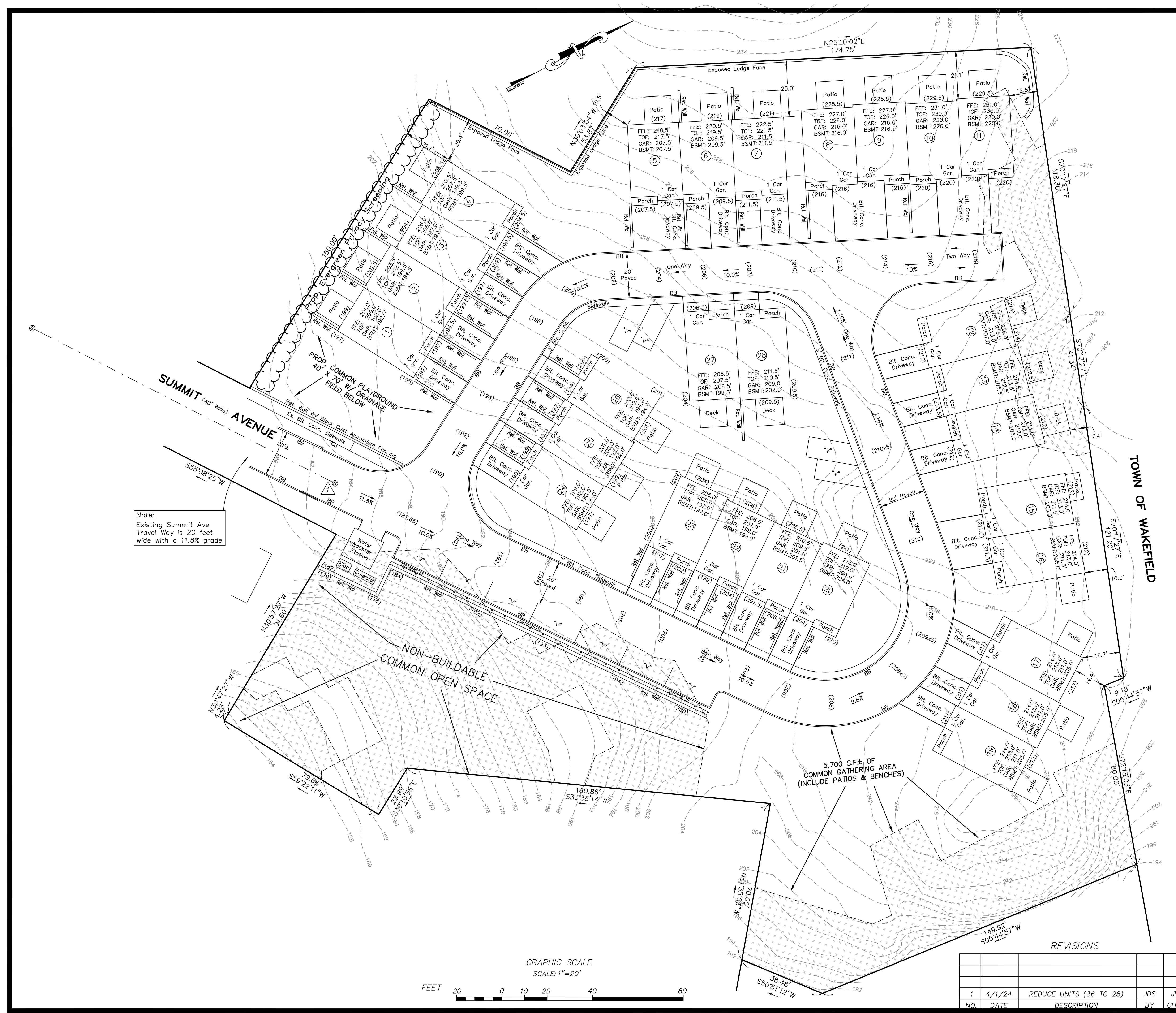
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SCALE: 1" = 20' DATE: OCT. 31, 2023

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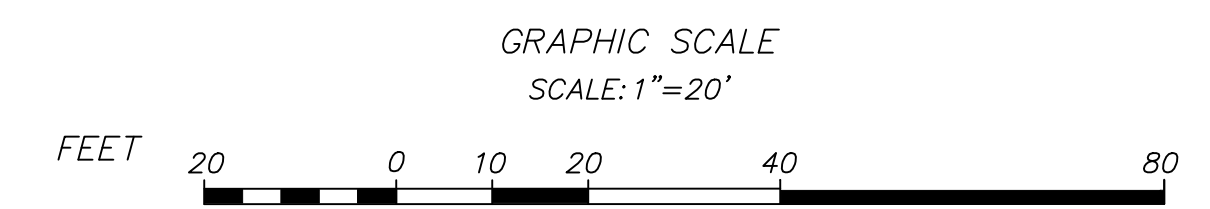
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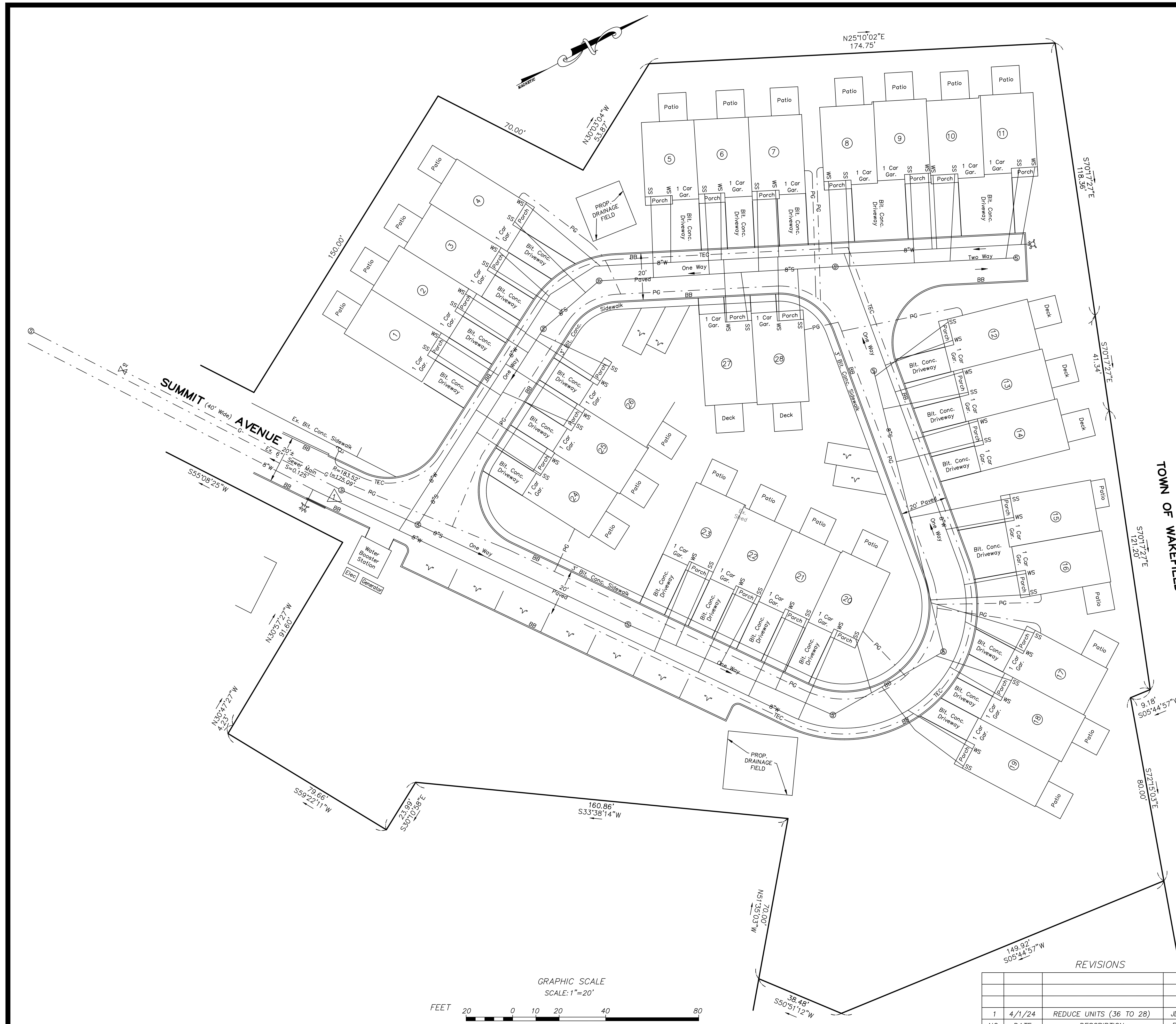
NO.	DATE	DESCRIPTION	BY	CHK'D
1	4/1/24	REDUCE UNITS (36 TO 28)	JDS	JDS



Note:
Existing Summit Ave
Travel Way is 20 feet
wide with a 11.8% grade



REVISIONS



LEGEND:

- UTILITY POLE
- SEWER MANHOLE
- SEWER MAIN
- COMPILED WATER MAIN
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- (10) PROP. UNIT #
- FFE FIRST FLOOR ELEVATION
- TOF TOP OF FOUNDATION
- BB PROP. BIT. BERM
- PG PROP. GAS MAIN OR SERVICE
- TEC PROP. UNDERGROUND TELEPHONE, ELECTRIC, CABLE

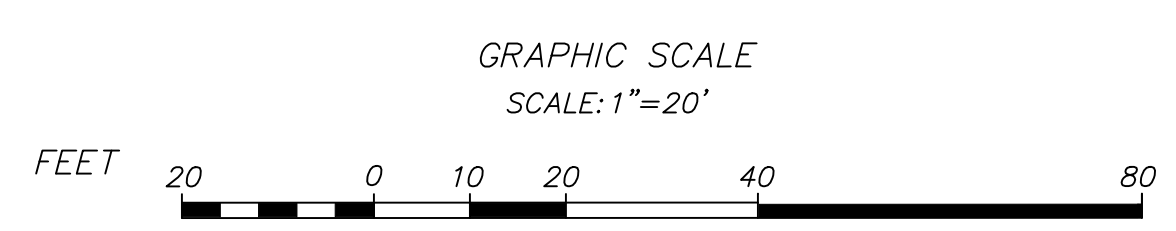
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**SUMMIT RIDGE
UTILITY PLAN
LOCATED IN
MELROSE, MASSACHUSETTS
(MIDDLESEX COUNTY)**

PREPARED FOR
SUMMIT DEVELOPMENT, LLC
SCALE: 1" = 20' DATE: OCT. 31, 2023

PREPARED BY
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