

DRAWING LIST

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PROPERTY OWNER:
ARMANDO PLATA
11 LANDRY ROAD
MEDFORD, MA 02155

ARCHITECT:
ARMANDO PLATA
11 LANDRY ROAD
MEDFORD, MA 02155
phone 646 241 7707

LOT AREA: 7750 S.F

LOT FRONTAGE: 107.75 FT

LOT DEPTH: 100 FT

FRONT YARD: 20 FT

REAR YARD: 15 FT

SIDE YARDS: 10 FT

ALLOWED COVERAGE: 50% MAX

PROPOSED COVERAGE: 18%

ZONING UR-B

MAXIMUM HEIGHT
ALLOWED: 35 FT

MAXIMUM HEIGHT
PROPOSED: 27 FT

HEIGHT - STORIES: 2

OFF STREET
PARKING SPACES PROVIDED: 2

PROJECT ADDRESS:
22 MONTVALE STREET
MELROSE, MA 02176

PROJECT DESCRIPTION:
NEW SINGLE
FAMILY RESIDENCE

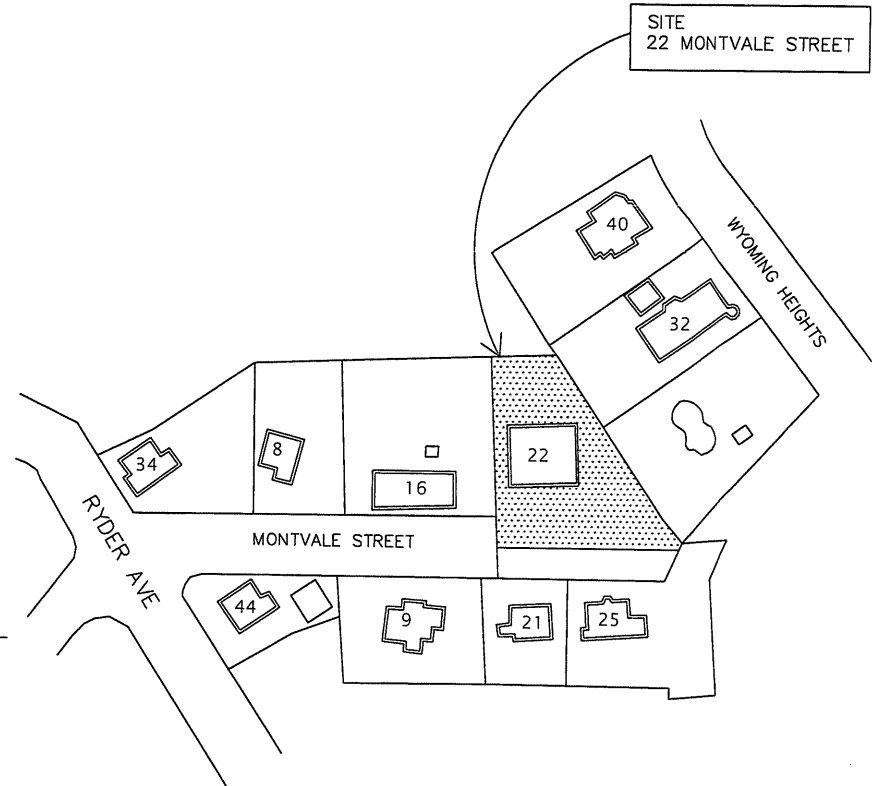
TOTAL FLOOR AREA
1360 SQ FT - UPPER LEVEL
635 SQ FT - LOWER LEVEL

1995 SQ FT - TOTAL AREA

DECK AREA = 75 SQ FT

TYPE OF CONSTRUCTION: V
STEEL & WOOD CONSTRUCTION

WATER METER INSTALLED WILL INCLUDE RADIO-READ
TECHNOLOGY PER CITY'S STANDARD.



1

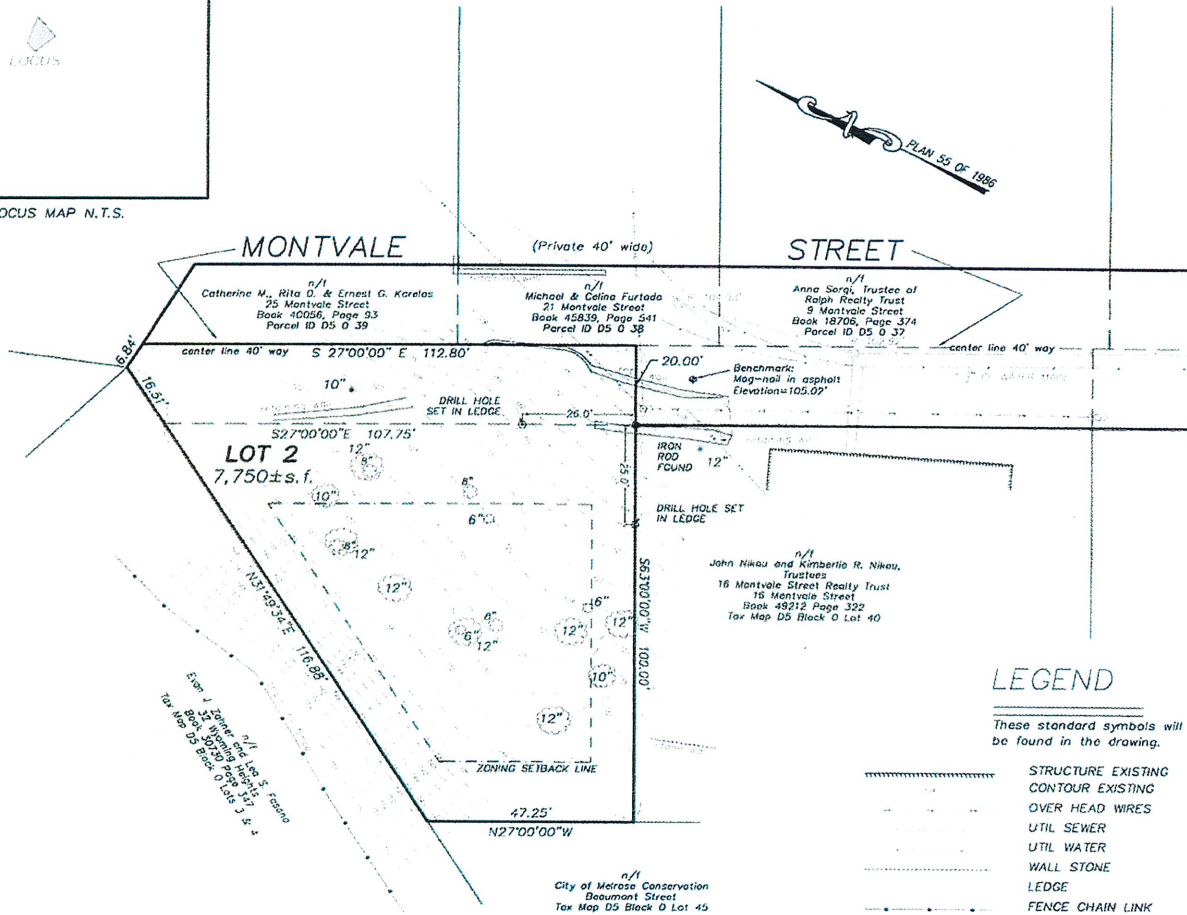
VICINITY MAP

NTS





LOCUS MAP N.T.S.



GENERAL NOTES

OWNER OF RECORD: ARMANDO PLATA
11 LANDRY ROAD, MEDFORD, MA 02155

DEED REFERENCE: BOOK 74163, PAGE 106
PLAN REFERENCE: PLAN NO. 55 OF 1986
TAX MAP REFERENCE: MAP D5 BLOCK 0 LOT 40A

DATUM REFERENCE: NAVD 88

NOTE: OWNERSHIP ON A PRIVATE WAY EXTENDS TO THE CENTERLINE.

CURRENT DIMENSIONAL AND DENSITY REGULATIONS

THE ENTIRE SITE IS LOCATED IN A UR-B ZONING DISTRICT

CRITERIA	REQUIRED	EXISTING
MINIMUM FRONT YARD (FT.)	20'	NA
MINIMUM SIDE YARD (FT.)	10'	NA
MINIMUM REAR YARD (FT.)	15'	NA
MAXIMUM BUILDING AREA (%)	50%	0%

THE ZONING INFORMATION DEPICTED HEREON IS FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, IS FOR REFERENCE PURPOSE ONLY. OTTE & DWYER, INC. MAKES NO OPINION OR CERTIFICATION AS TO ZONING COMPLIANCE. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USE, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE CITY/TOWN TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

ACCORDING TO THE F.E.M.A. MAP FOR MIDDLESEX COUNTY, MAPS No. 25017C0429E AND 2501C0433E, DATED JUNE 4, 2010, THE PARCEL(S) FALLS IN AN AREA CLASSIFIED AS ZONE "X" (OUTSIDE OF 0.2% CHANCE).

EXISTING CONDITIONS
PLAN OF LAND
0 MONTVALE STREET (LOT 2)
MELROSE, MASS. 02176

PREPARED FOR
ARMANDO PLATA
BY
OTTE & DWYER, INC.
LAND SURVEYORS

WWW.OTTEDWYER.COM

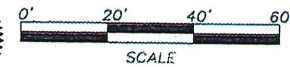
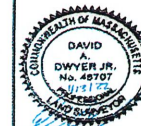
59 APPLETON STREET SAUGUS, MA 01906

P.O. BOX 982 (781)233-8155

SCALE: 1"=20' MARCH 9, 2020

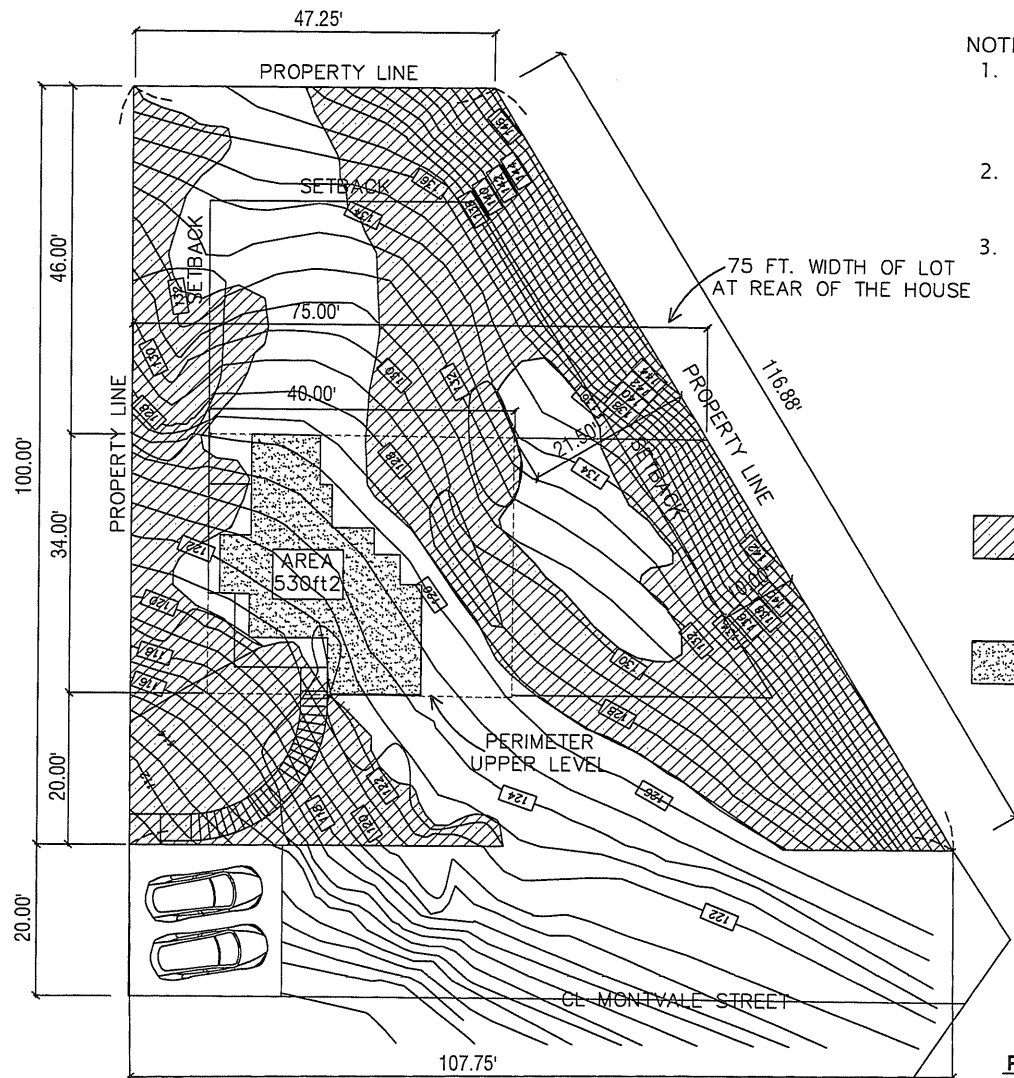
REV: 6-8-2020 ADD WATER UTIL

REV: 1-13-2022 TO SHOW OWNERSHIP TO CENTER LINE OF PRIVATE WAY AND ABUTTERS ACROSS THE PRIVATE WAY



JN. 12554

This map or plot is not valid without the seal and signature of the responsible surveyor.




NOTES:


1. WALLS AND STORM MANAGEMENT AREA NOT SHOWN FOR CLARITY SEE DRAWING SHEET T3 & L1
2. THERE IS NO FOOT PRINT OF THE HOUSE ON THE 25% SLOPE
3. THERE IS NO CUT AND FILL ON THE FOOT PRINT OF THE HOUSE.

TOTAL LOT AREA = 7750 FT2

BUILT AREA = 530 FT2

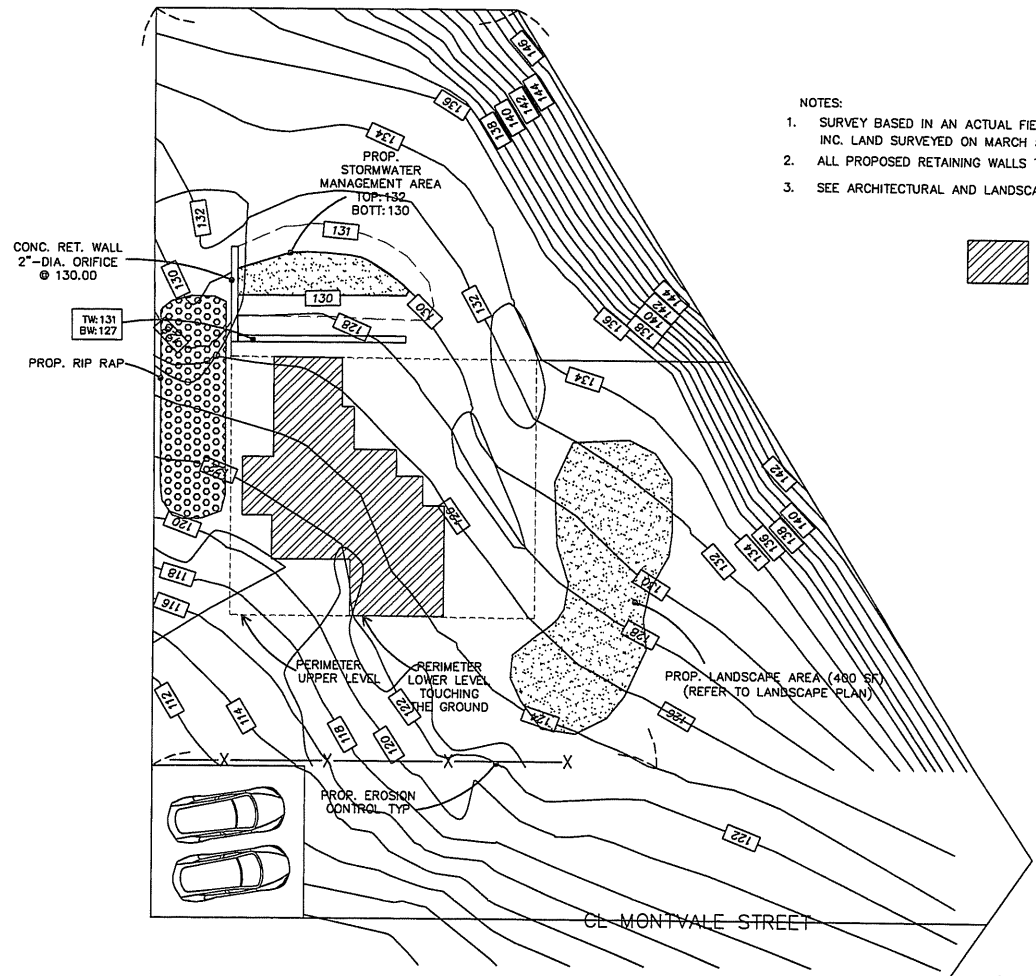
OPEN SPACE AREA = 7220 FT2
= 93%

 INDICATES SLOPE GREATER THAN 25%
AREA = 4800 FT2

 INDICATES AREA OF HOUSE TOUCHING THE GROUND
AREA = 530 FT2

PLOT PLAN - PROPOSED





- NOTES:
1. SURVEY BASED IN AN ACTUAL FIELD SURVEY BY OTTE & DWYER INC. LAND SURVEYED ON MARCH 5, 2020
 2. ALL PROPOSED RETAINING WALLS TO BE DESIGNED BY OTHERS.
 3. SEE ARCHITECTURAL AND LANDSCAPE PLANS FOR ADDITIONAL INFO.


 INDICATES AREA OF HOUSE
 TOUCHING THE GROUND
 AREA= 530 FT2

SITE PLAN



ARCHITECTURE Armando Plata AIA PE LEED Ag23studio@gmail.com

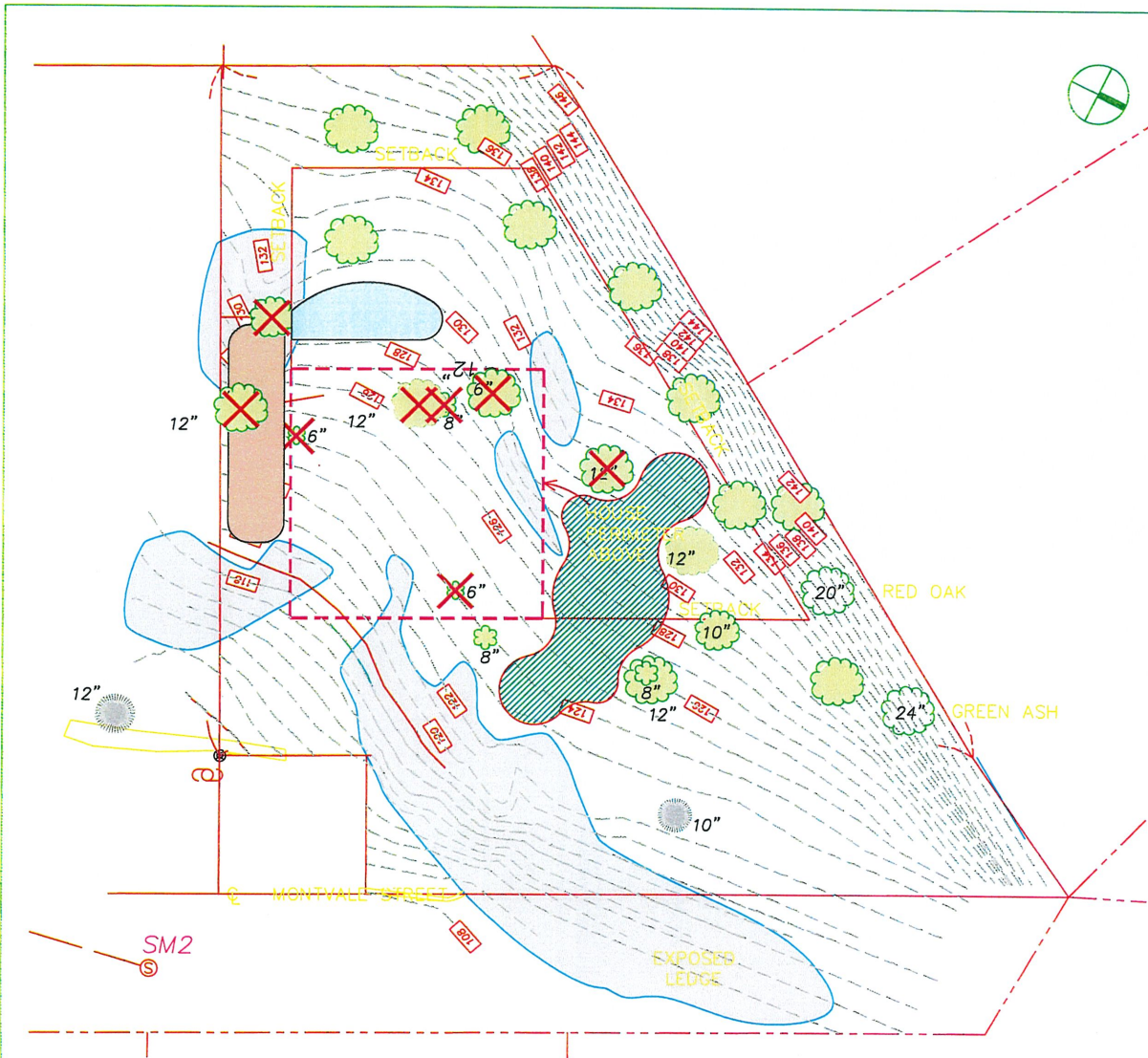
MELROSE RESIDENCE

22 MONTVALE STREET MELROSE MA 02176

DATE
 MAY 3, 2020 REV DEC 22, 2021
 1/16" = 1'-0"
 SITE PLAN

T3

11 Landry Road Medford, MA 02155 (646)241 7707



TREES:

Norway Maples *Acer platanoides*

Eight (8) Norway Maples *Acer platanoides* Ranging in caliper from 6" to 12" to be removed and stumps ground where possible.

Removed Norway Maples will be replaced with the following native tree species observed on site:

- 1) Red Maple *Acer rubrum*
- 2) Hickory *Carya*
- 3) Grey Birch *Betula populifolia*
- 4) Black Cherry *Prunus serotina*

NOTES:

Due to the dense canopy of Norway maples, forest diversity is starting to decline because the excess shade they create inhibits the regeneration of sugar maples and other native seedlings. The shallow root system makes growing difficult for other native shrubs and wildflowers in the understory. Other species of flora and fauna, such as insects and birds, may indirectly be affected due to the change in resource diversity and availability.

NATIVE SHRUBS AND PERENNIALS (TO BE ADDED):

Approx. 400 SF

In addition to the Norway Maples, the site also hosts a number of invasive shrub species along the eastern edge of the ledge including Japanese Knotweed *Fallopia japonica* and Asian Bittersweet *Celastrus orbiculatus*. Site will undergo clearing and mechanical removal of invasive species. Native perennials onsite including Lily of the Valley *Convallaria majalis*. Removed invasives will be replaced with the following native shrubs where soil depth to ledge of at least 10" allows:

- 1) Rosebay Rhododendron *Rhododendron maximum*
- 2) Mountain Laurel *Kalmia latifolia*
- 3) Smooth Arrowwood *Viburnum dentatum var. lucidum*
- 4) Northern spicebush *Lindera benzoin var. benzoin*
- 5) Winterberry *Ilex verticillata*

STORMWATER MANAGEMENT -- BIOSWALE/DRYWELL:

Bio-retention/raingarden
Approx. 150 SF

Rip-rap/drywell
Approx. 200 SF

Exact placement of Bio-swales/raingardens TBD based on further analysis of depth to ledge. Raingarden between the east side the proposed structure would capture runoff running downhill from the east/northeast. A bioswale or riprap drywell on the proposed structure's south side will capture runoff inside the property line. Bio-swale/raingarden planting examples include:

- 1) Switch Grass *Panicum virgatum*
- 2) Big Bluestem (*Andropogon gerardii*)
- 3) Winterberry *Ilex verticillata*
- 4) Inkberry *Ilex glabra*

NOTES:

The following is a description of the treatments for the removal of invasive plants:

Oriental bittersweet (Celastrus orbiculatus) -

Bittersweet is a vine that winds around other plants, the beach rose in this case, and eventually outcompetes it by shading out the supporting plant. The berries can be a winter food source for birds and the seeds are easily dispersed by birds to other locations. However, the berries are not as nutritional for the birds as native plant berries.

The base stems of the bittersweet could be cut in the spring and the top of the rooted stem swiped (individually painted) with an appropriate herbicide such as Roundup to kill the root system. Or just cut and the upper portion of the plant can be allowed to die back. It then can be more easily removed from the supporting plant. The roots could be dug out with hand tools and small sprouting seedlings should be able to be easily pulled out of the soil/ledge. It is important to do this work prior to the berries appearing on the vines to avoid spreading the seeds. All removed vines and seedlings should be bagged securely, removed from the site and disposed of properly. Annual surveillance and treatment for new sprouts is important for eradication.

Japanese knotweed (Polygonum cuspidatum) -

Japanese knotweed is particularly difficult to manage and remove. It has a tenacious root system and requires numerous cuttings and/or herbicide treatments during the growing season. Often cutting this plant encourages more sprouting from the root system, so continuing annual treatment is essential for control.

The plants can be dug out with hand tools but care should be taken as transferring the soil containing pieces of the root system may contaminate other areas. It is recommended that the first cutting be done in mid to late spring when the plant is first sprouting. This can be followed up with a treatment in mid-summer and again in early fall before the plant begins to die back. This process needs to be repeated for numerous years until the plant is completely removed. If the above process is not enough to eliminate the plants, cutting and brushing/swiping the cut stems individually with an appropriate herbicide two to three times during each growing season may eventually exhaust the root system from sending up more plants.

The cut upper stems of the plant should be spread on a tarp and dried before disposal to prevent any regeneration of the plant if it should come in contact with soil. All removed stems should be bagged securely, removed from the site and disposed of properly. Annual surveillance and treatment for new sprouts is important for eradication.

ARCHITECTURE Armando Plata AIA PE LEED Ag23studio@gmail.com

MELROSE RESIDENCE

22 MONTVALE STREET MELROSE MA 02176

DATE

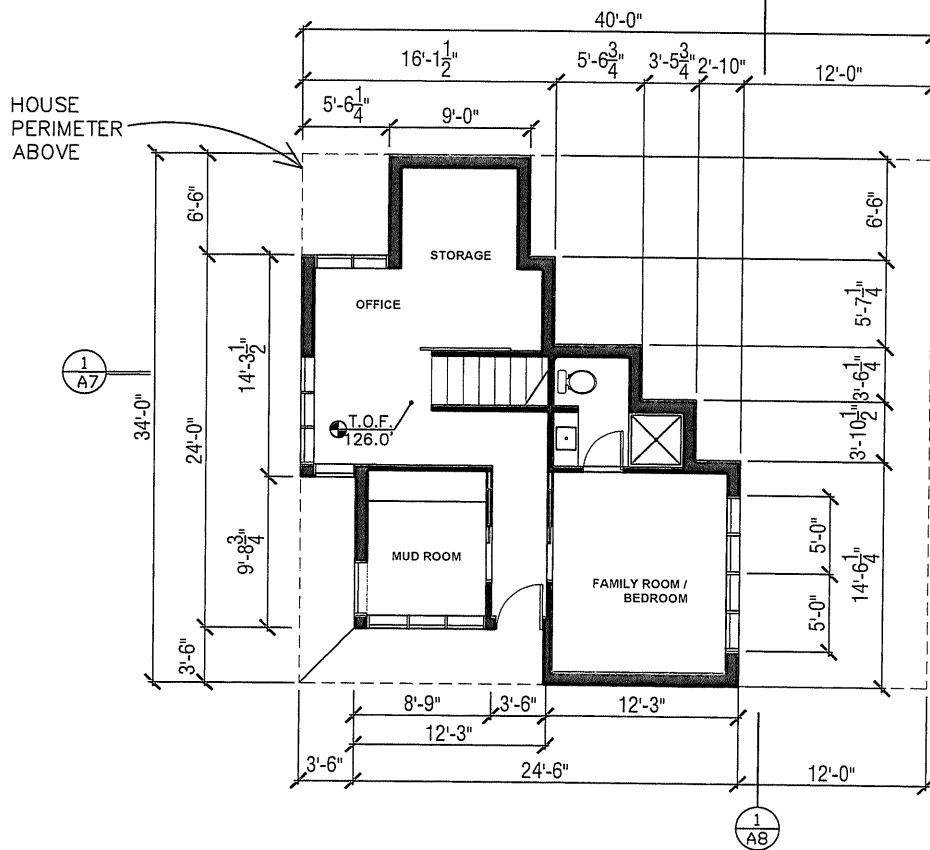
DECEMBER 30, 2021

L2

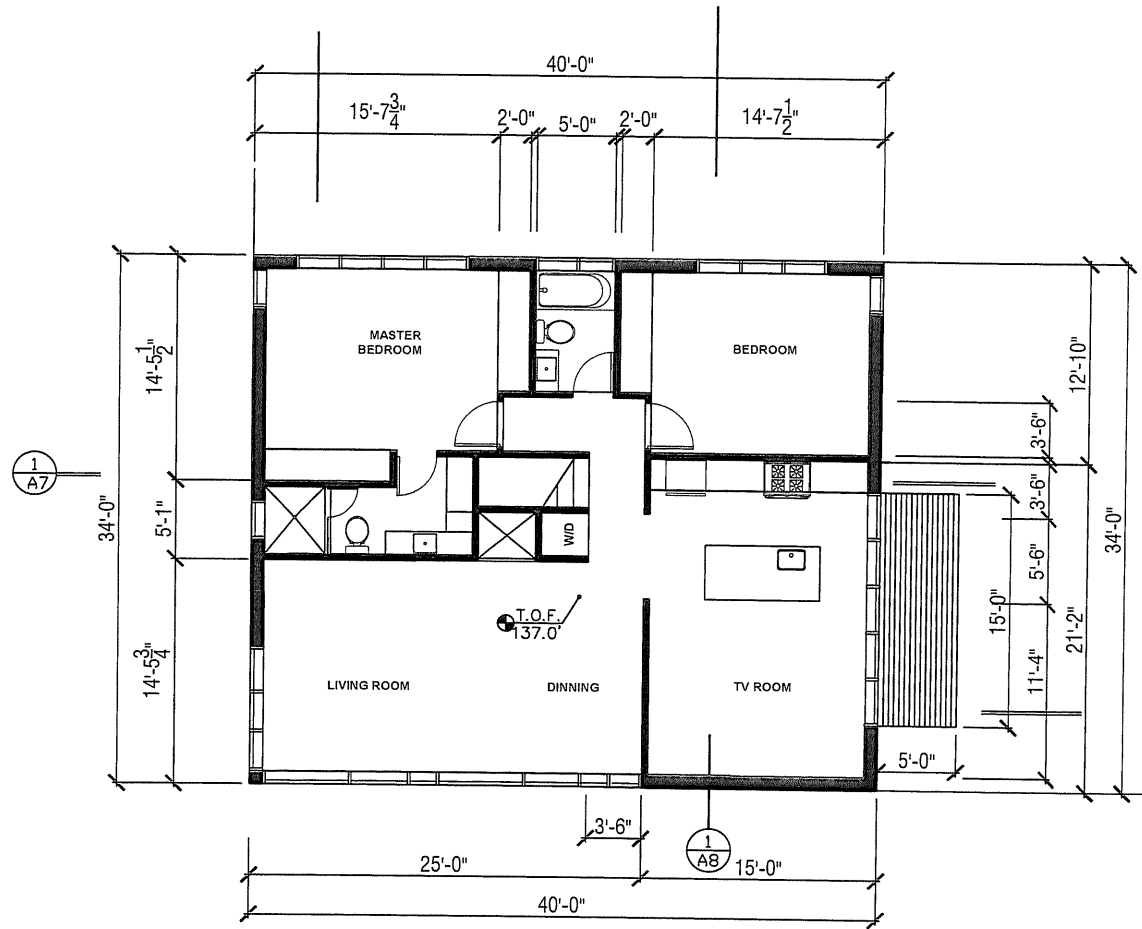
11 Landry Road Medford, MA 02155 (646)241 7707

1/8" = 1'-0"

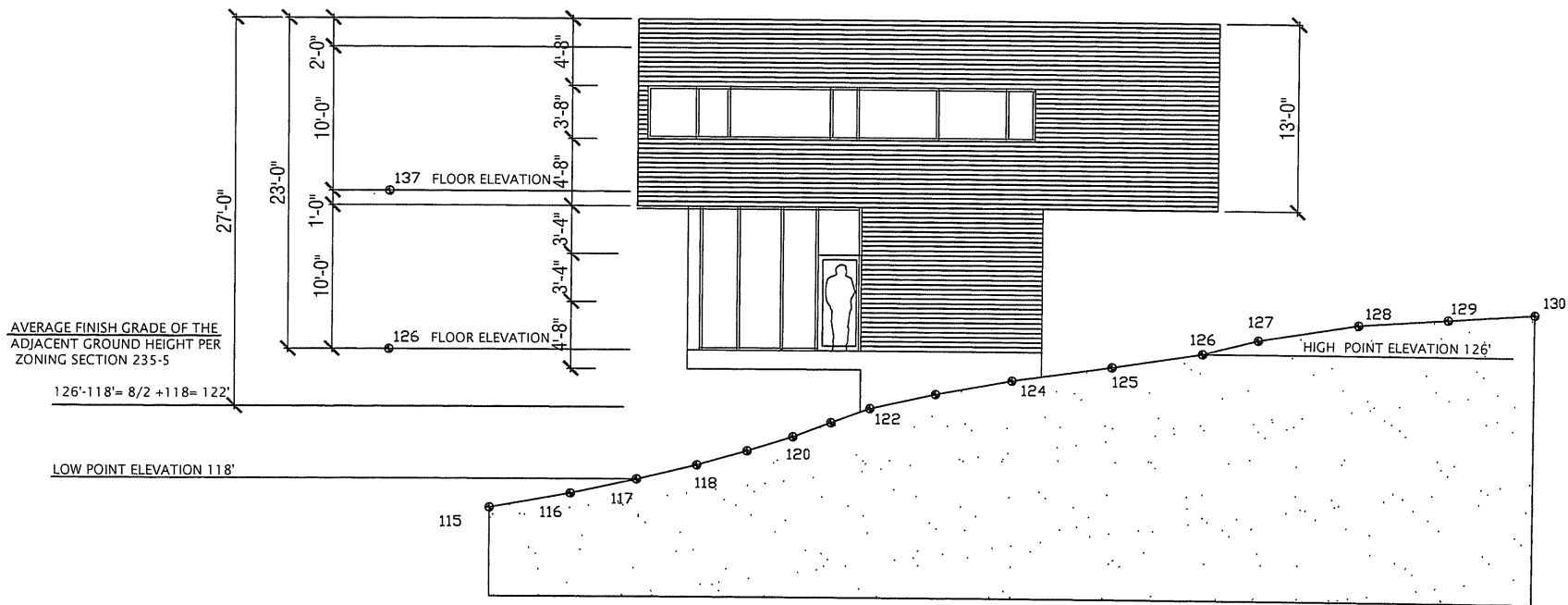
TREE REMOVAL/SITE REHABILITATION



2 FLOOR PLAN - ENTRANCE LEVEL

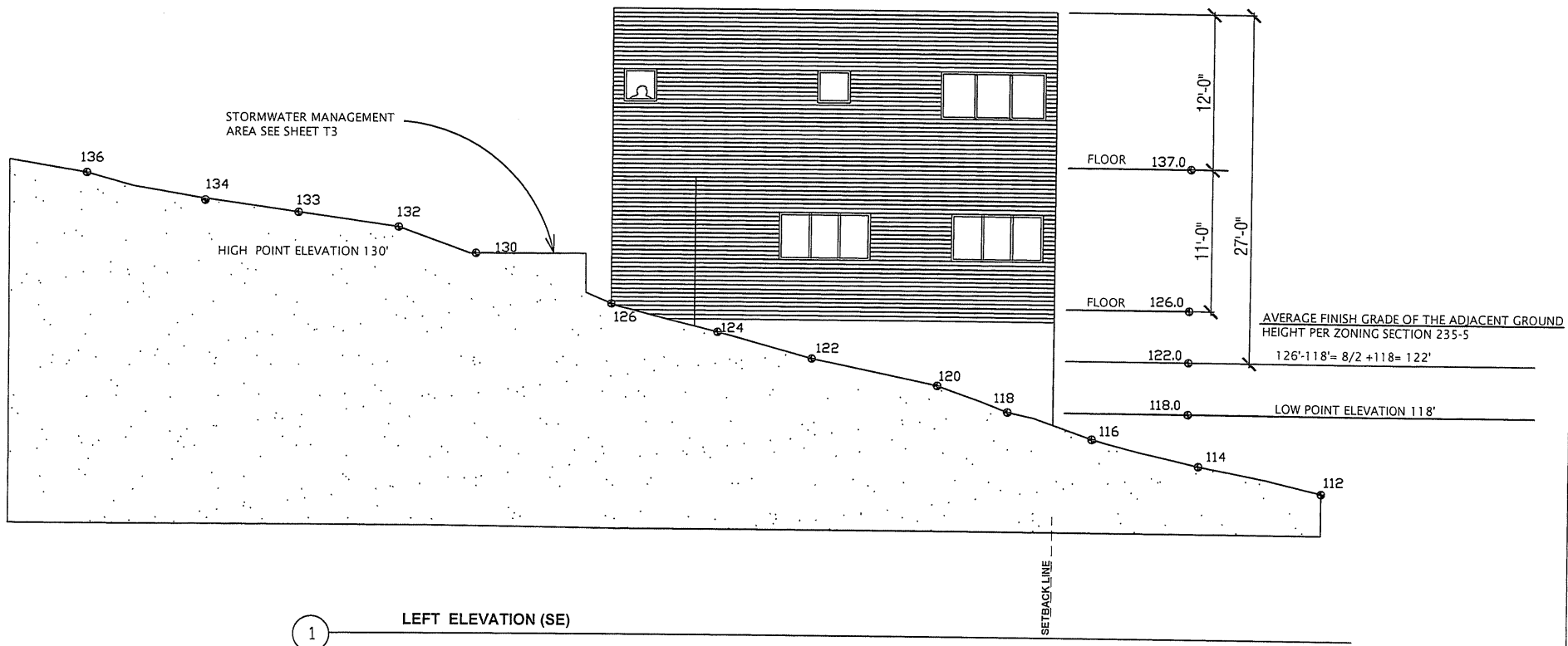


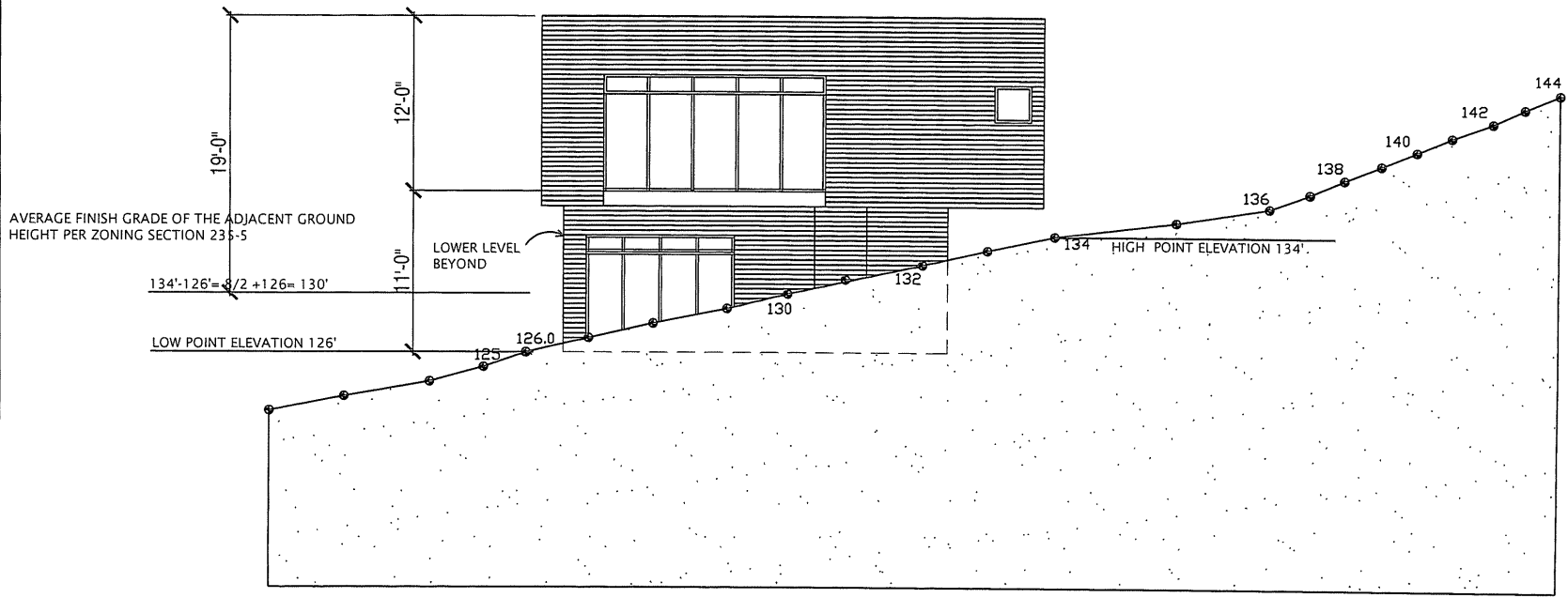
1 FLOOR PLAN - UPPER LEVEL



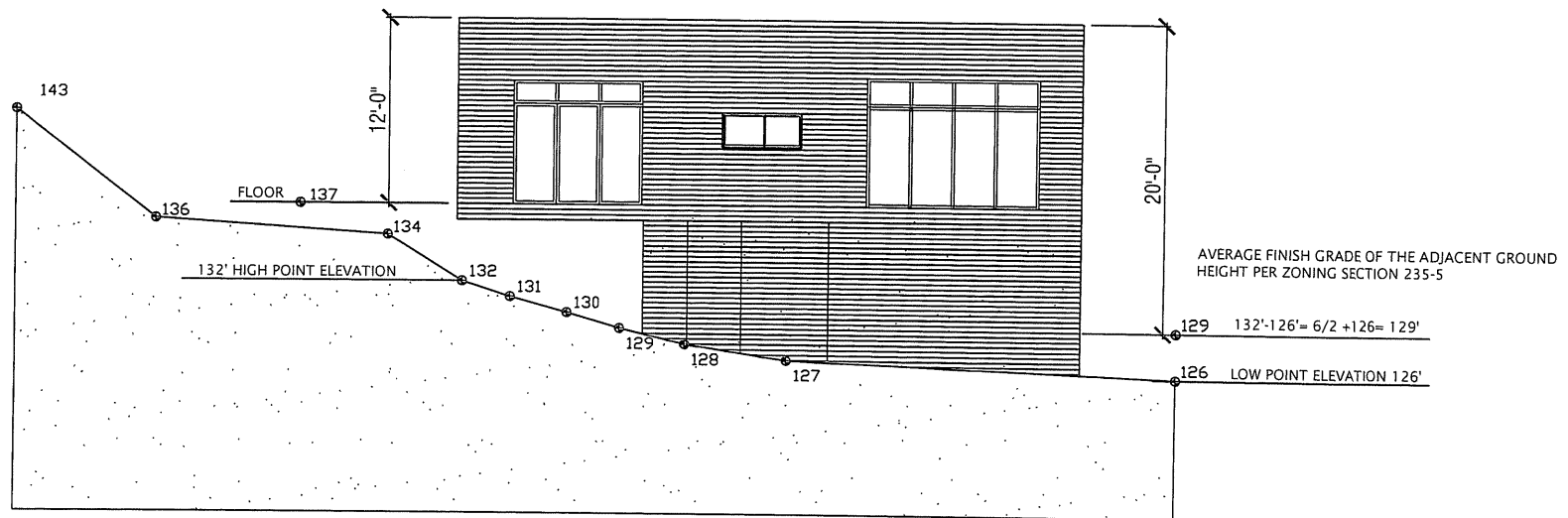
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FRONT ELEVATION (NE)





1 RIGHT ELEVATION (NW)



1 REAR ELEVATION (SW)

ARCHITECTURE Armando Plata AIA PE LEED AP BD+C Ag23studio@gmail.com

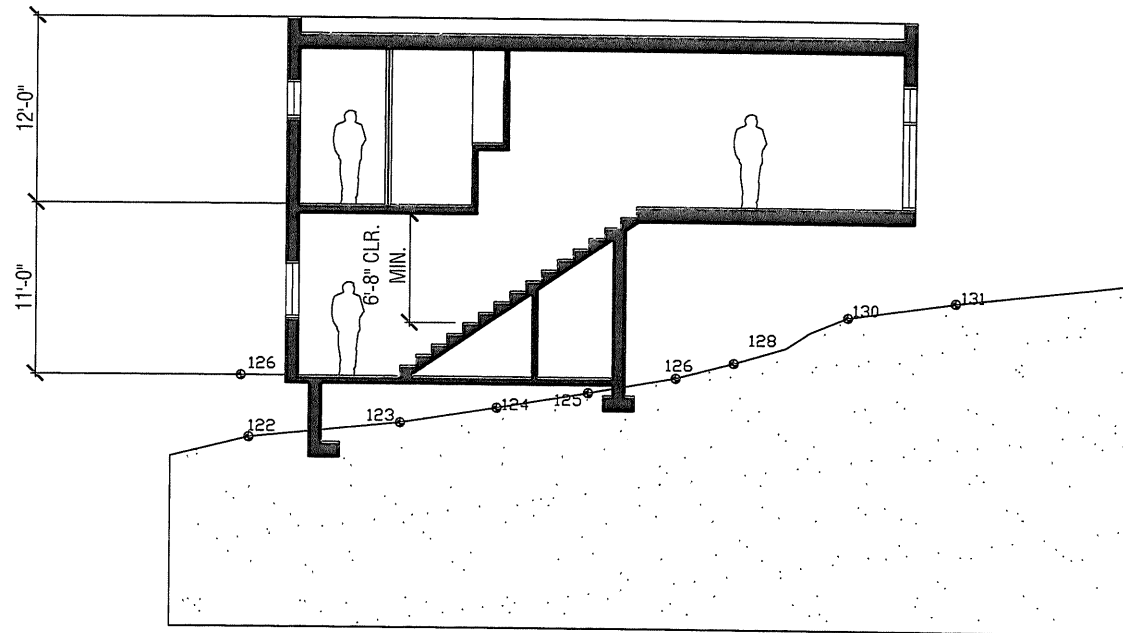
11 Landry Road Medford, MA 02155 (646)241 7707

MELROSE RESIDENCE

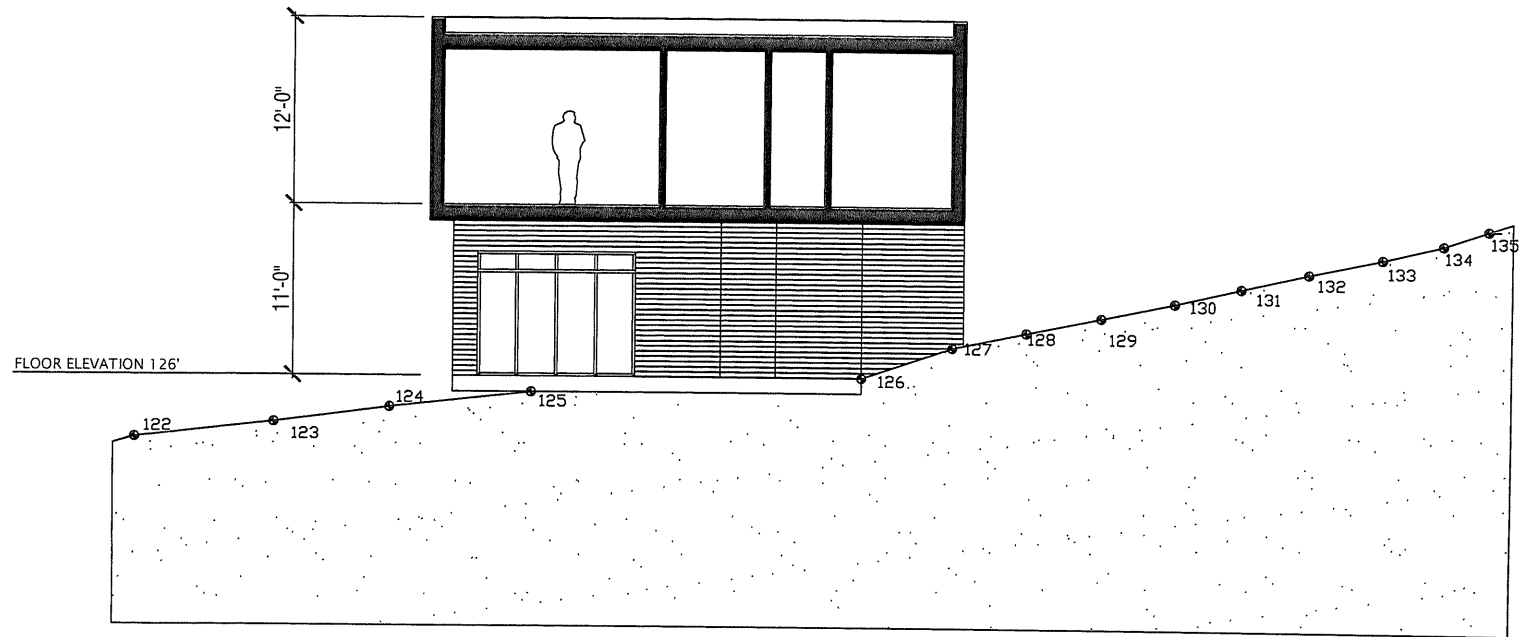
22 MONTVALE STREET MELROSE MA 02176

DATE
 APRIL 10, 2020 REV JUNE 23, 2021
 1/8" = 1'-0"
 ELEVATION

A6



4 SECTION



1 SECTION

ARCHITECTURE Armando Plata AIA PE LEED AP BD+C Ag23studio@gmail.com
 11 Landry Road Medford, MA 02155 (646)241 7707

MELROSE RESIDENCE

22 MONTVALE STREET MELROSE MA 02176

DATE
 APRIL 10, 2020 REV JUNE 23, 2021
 1/8" = 1'-0"
 ELEVATION