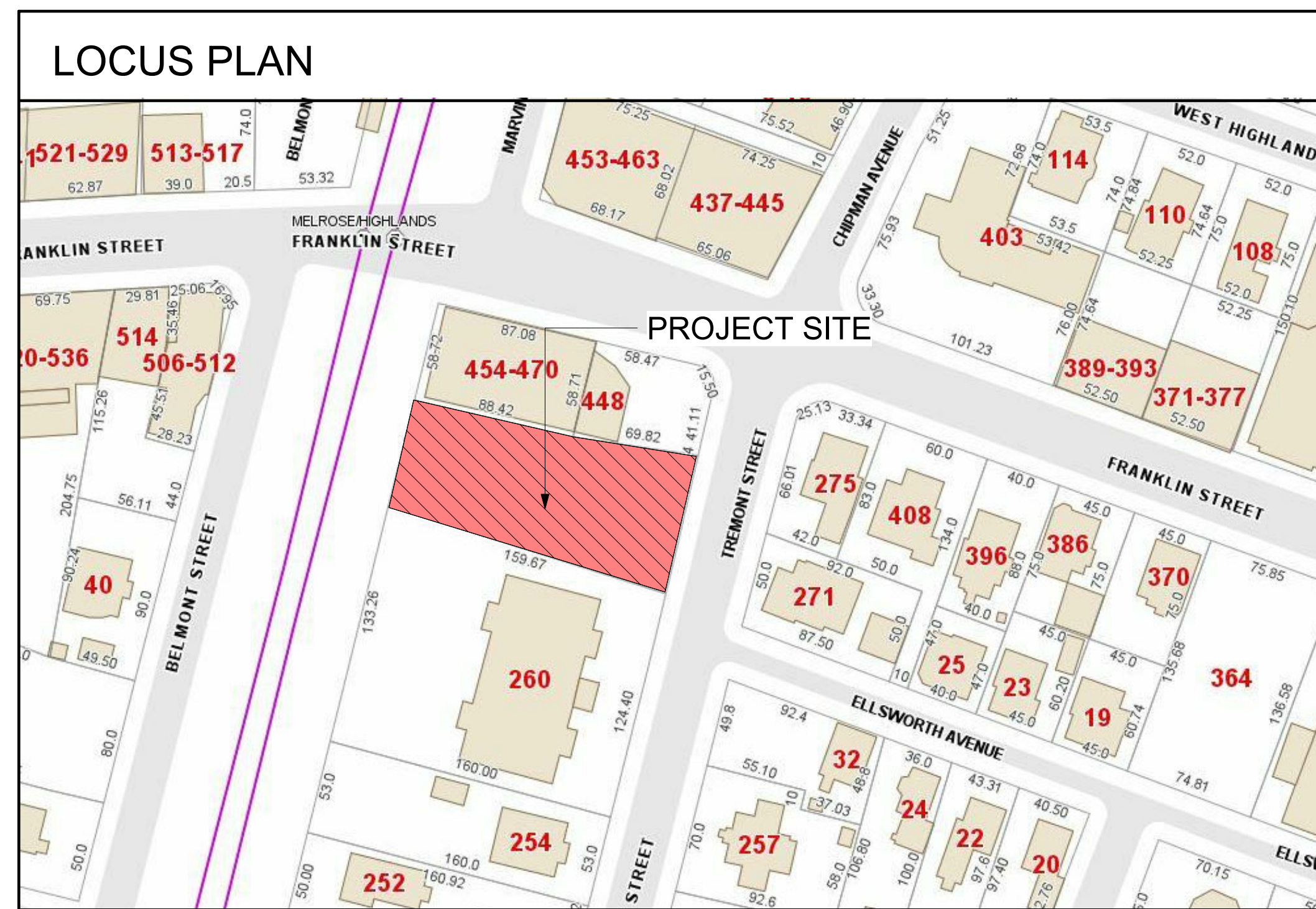




**CITY OF MELROSE  
SUBMISSION  
08-24-2020**



**PROJECT:  
272 TREMONT STREET**

PROJECT ADDRESS:  
272 TREMONT STREET  
MELROSE, MASSACHUSETTS

**CLIENT**  
ERIC KENWORTHY  
ADDRESS:  
49 MARMION ROAD  
MELROSE, MA 02176

**ARCHITECT**  
KHALSA DESIGN INC.  
ADDRESS:  
17 IVALOO STREET  
SOMERVILLE, MA 02143  
T: 617-591-8682

**CIVIL**  
P.J.F. AND ASSOCIATES  
ADDRESS:  
4 HIGHLAND AVENUE  
WAKEFIELD, MA 01880  
T: 781-883-5473

**LANDSCAPE ARCHITECT**  
STEPHEN CEFALO  
ADDRESS:  
12 MOUNT VERNON STREET  
MELROSE, MA 02176  
T: 781-789-5808

Architectural Drawing List			
Sheet Number	Sheet Name	Rev No.	Sheet Issue Date
A-000	Cover Sheet	1	08/20/20
C-1	Existing Site Plan		01/08/20
C-2	Site Layout Plan	1	08/11/20
C-3	Grading, Drainage & Utility Plan	1	08/11/20
C-4	Construction Details	1	08/11/20
A-010	Area Plans		04/01/20
A-020	Architectural Site Plan & 1st Floor Plan		04/01/20
L-1	Landscape Plan	1	08/20/20
A-101	1st, 2nd & 3rd Floor Plans	1	08/20/20
A-102	4th Floor & Roof Plans	1	08/20/20
A-300	Elevations	1	08/20/20
A-301	Elevations	1	08/20/20
A-302	Exterior Lights		04/01/20
A-303	Sign Elevations		04/01/20
A-400	Building Height Diagram		04/01/20
AV-1	3-D Perspectives	1	08/20/20
AV-2	RENDERING	1	08/20/20
AV-3	Shadow Study		04/01/20

PROJECT NAME  
**Tremont Street Residences**

PROJECT ADDRESS  
272 Tremont Street  
Melrose, MA

CLIENT  
**Eric Kenworthy**

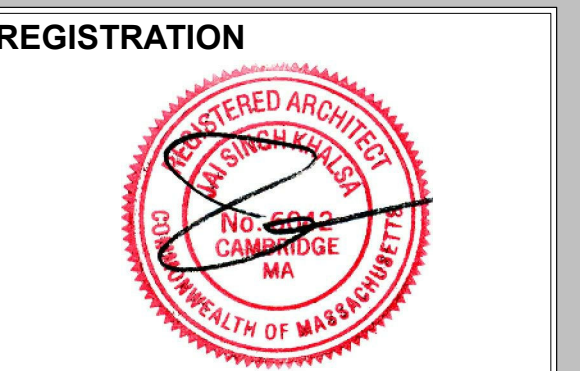
ARCHITECT

**KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX:  
617-591-2086

CONSULTANTS:

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OF PROSECUTION UNDER LAW



REGISTRATION

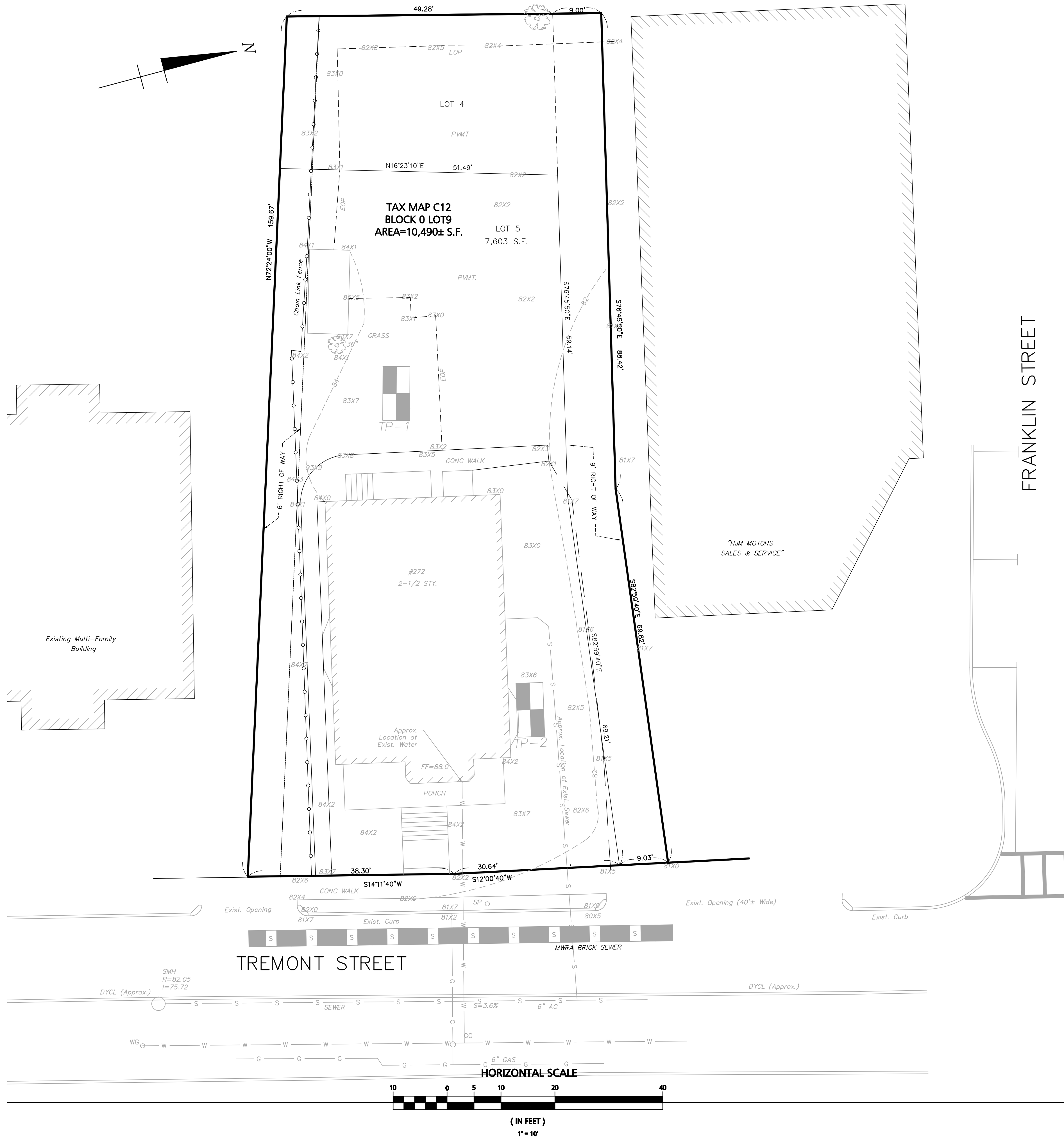
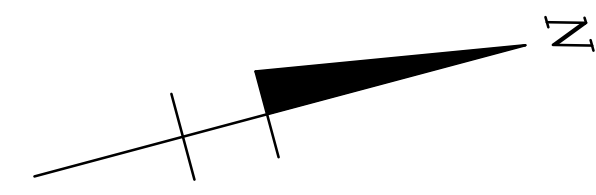
Project number 18035  
Date 03/31/2020  
Drawn by WC  
Checked by JSK  
Scale 1" = 1'-0"

REVISIONS

No.	Description	Date
1	City Requested Changes	08/20/20

Cover Sheet

**A-000**  
Tremont Street Residences



- NOTES:
- 1) THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATERGATES, ETC. AND ARE COMPILED FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. ALL CONTRACTORS SHOULD NOTIFY DIG-SAFE PRIOR TO ANY WORK.
  - 2) CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND INVERTS IN THE FIELD PRIOR TO CONSTRUCTION.
  - 3) DATUM -MELROSE CITY BASE.
  - 4) SURVEY CONDUCTED BY P.J.F. AND ASSOCIATES ON OCTOBER 11, 2018.

LEGEND:

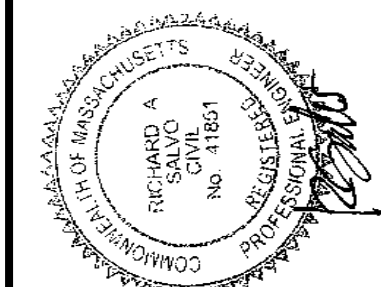
EXISTING CONTOUR	84
EXISTING SPOT GRADE	82X3
GAS GATE	GG+
FENCE	----
INVERT	I
RIM	R
SEWER LINE	-S-
SEWER MANHOLE	SMH O
PAVEMENT	PVMT.
TREE	☉
WATER LINE	-W-
WATER GATE	WG+
GAS LINE	-G-
EDGE OF PAVEMENT	EOP

PREPARED BY:

**Engineering Alliance, Inc.**  
 Civil Engineering & Land Planning Consultants  
 194 Central Street  
 Portsmouth, NH 03801  
 Tel: (603) 610-7100  
 Fax: (603) 610-7101

PROJECT:  
**Site Plan**  
**272 Tremont Street**  
 (Tax Map C12 Block 0 Lot 9)  
**Melrose, Massachusetts**

PROJECT #: 19-29908  
 DATE: January 8, 2020  
 SCALE: AS NOTED  
 DWG FILE NAME: 19-29908.dwg  
 DESIGN BY: Calvin Reach  
 CHECKED BY: Richard A. Salvo, P.E.



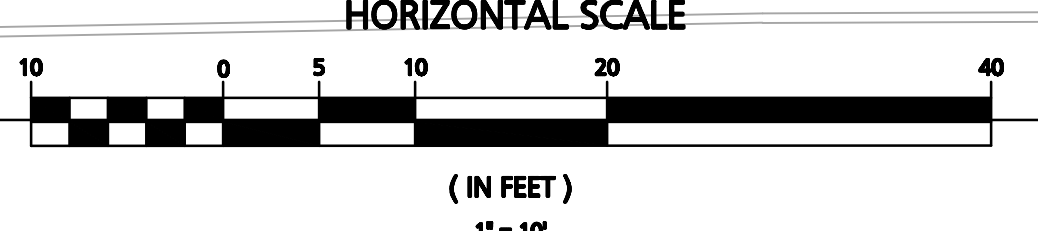
Professional Engineer for  
 Engineering Alliance, Inc.

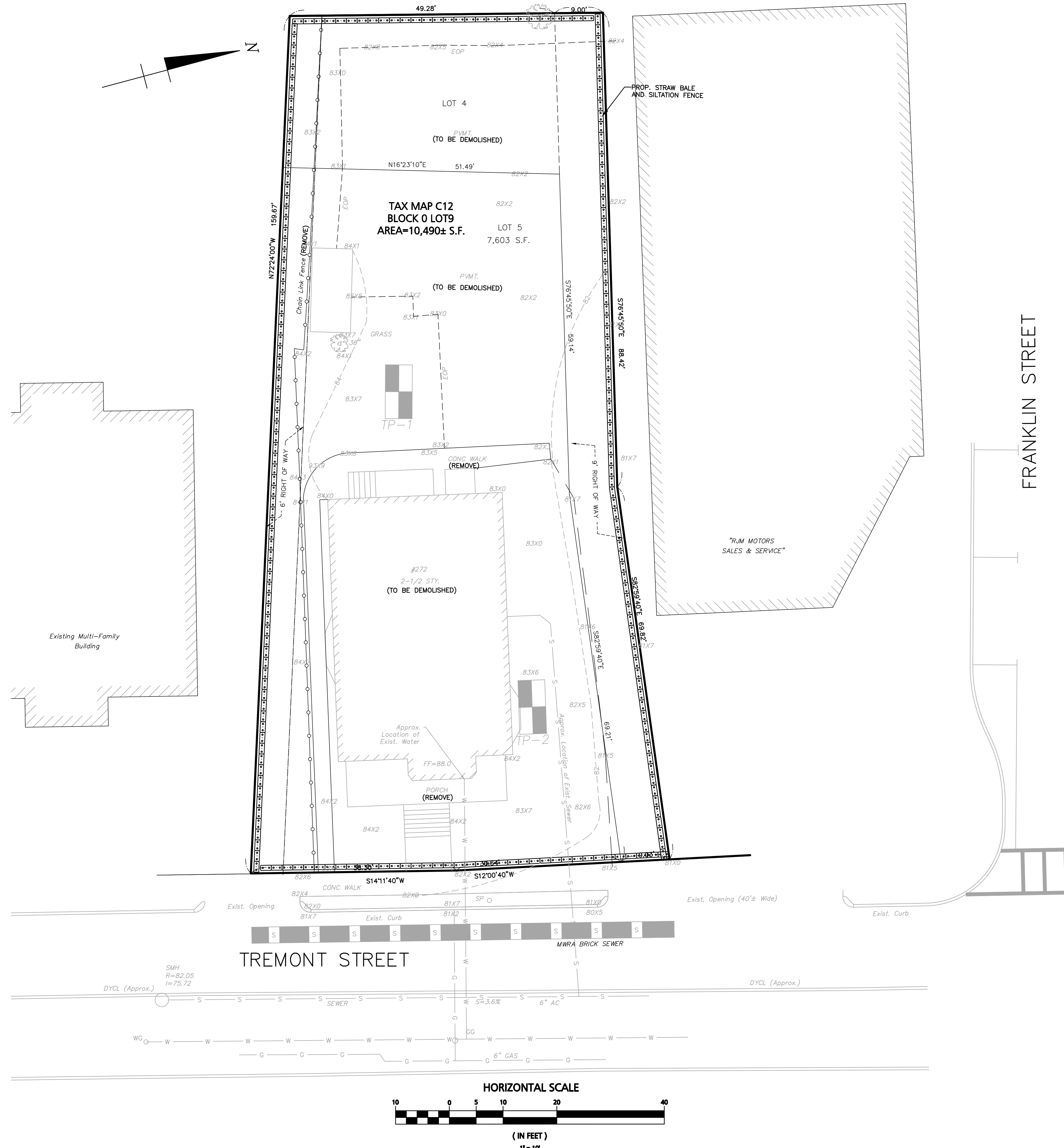
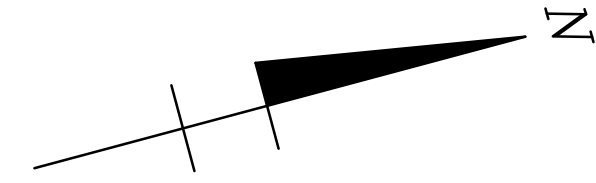
APPLICANT:  
**Eric Kenworthy**  
 49 Marmion Road  
 Melrose, MA 02176

DRAWING TITLE:  
**Existing Conditions**  
**Plan**

DWG. NO.  
**C-1**

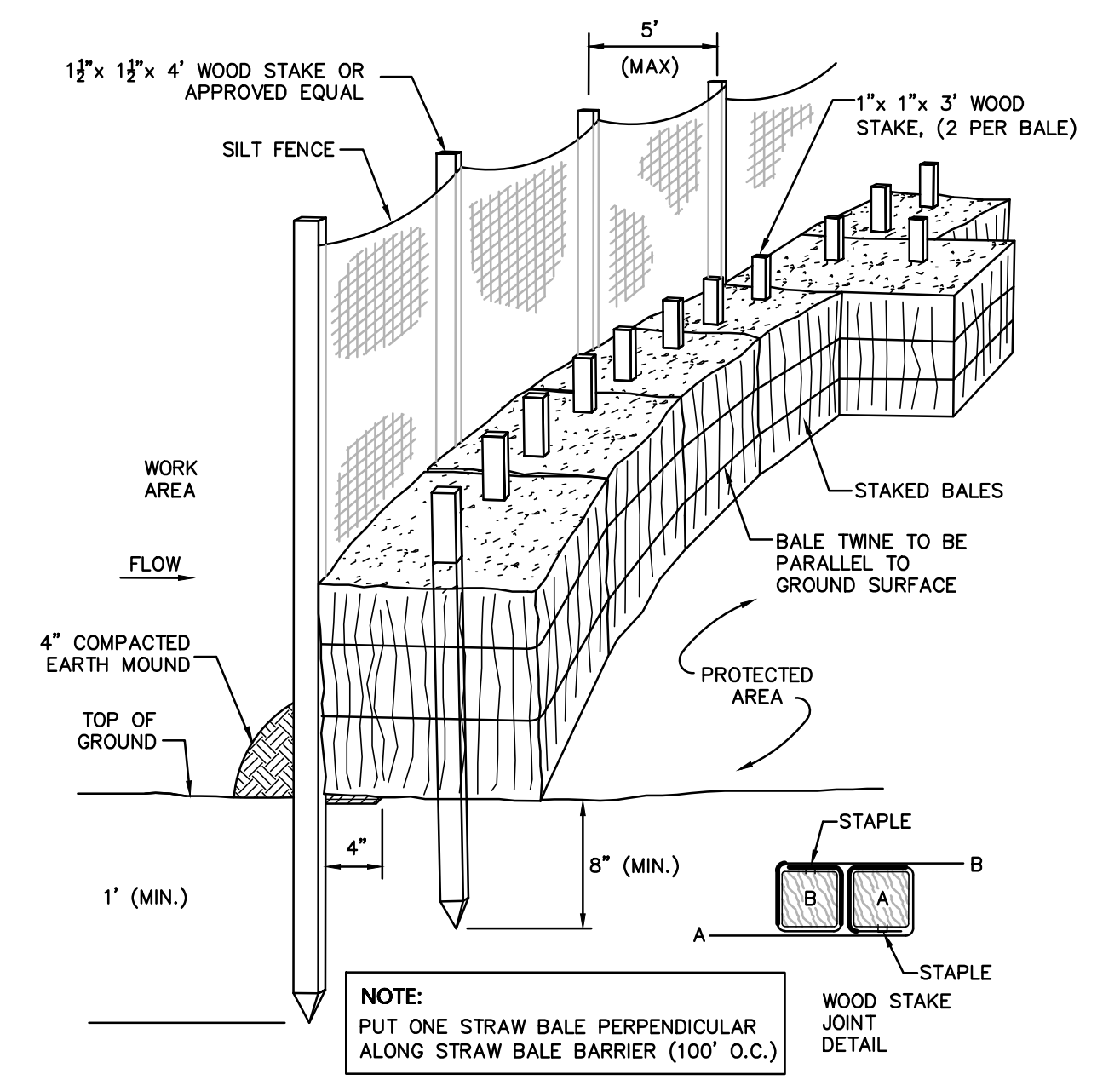
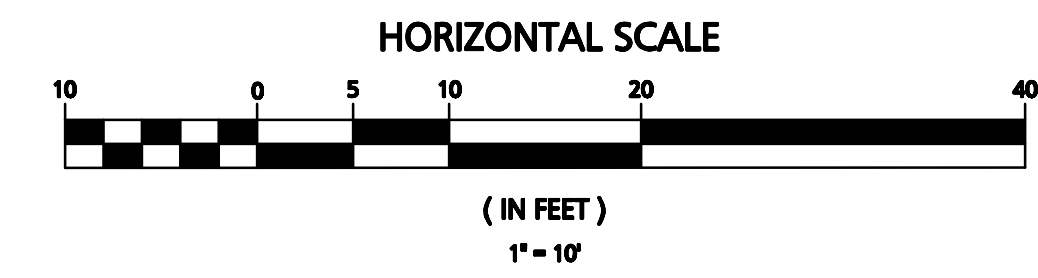
	REVISION PER CITY ENGINEER COMMENTS
	REV PER COMMUNITY DEVELOPMENT COMMENTS
8/11/2020	DATE
4/1/2020	DATE





TREMONT STREET

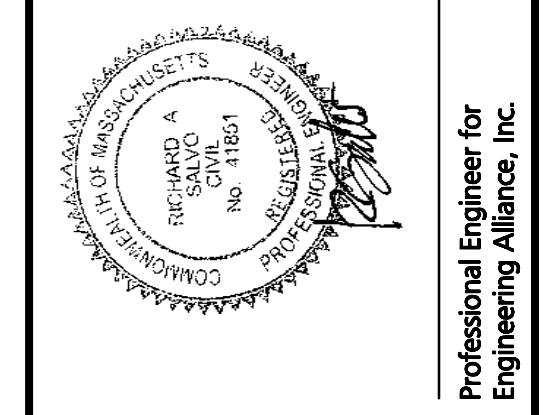
FRANKLIN STREET



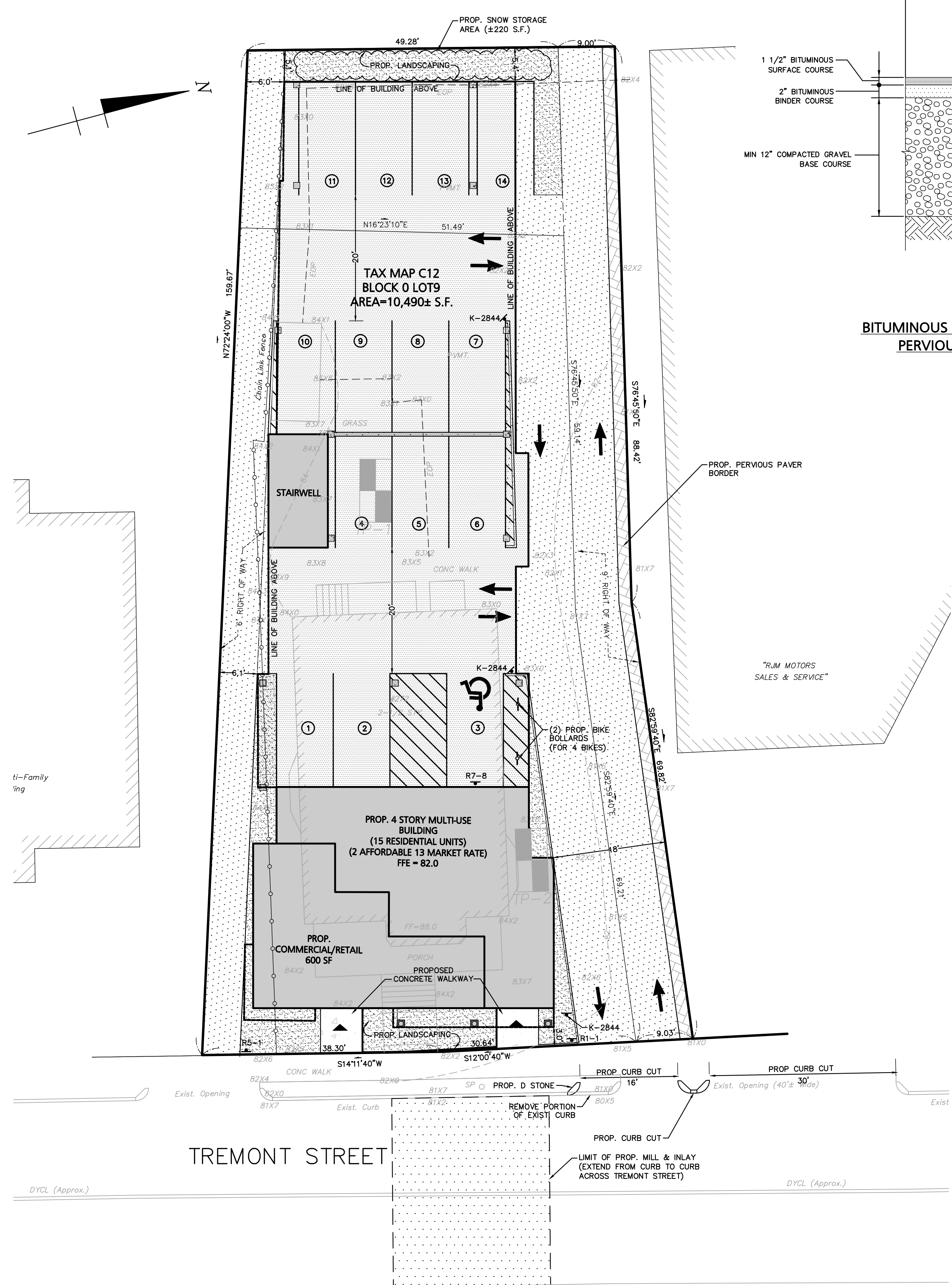
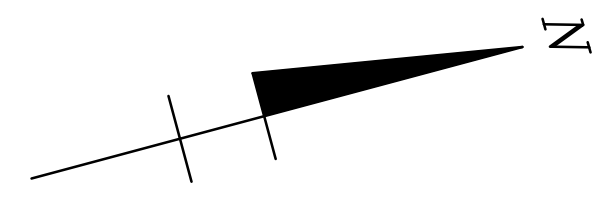
**SILT FENCE / STRAW BALE BARRIER**  
NOT TO SCALE

- DEMOLITION NOTES:**
- EXISTING BUILDING STRUCTURES AND ALL ASSOCIATED APPURTENANCES ARE TO BE REMOVED OR DEMOLISHED. THE CONTRACTOR IS RESPONSIBLE FOR THE STOCKPILING AND REMOVAL OF ALL MATERIAL DURING DEMOLITION PROCESSES.
  - EXISTING UTILITIES SHOWN ON THIS PLAN WERE DETERMINED FROM VISIBLE STRUCTURES AND PLANS OF RECORD WHERE AVAILABLE. THE CONTRACTOR IS RESPONSIBLE FOR THE CUTTING, CAPPING, AND REMOVAL OF ALL EXISTING UTILITIES ASSOCIATED WITH EXISTING INFRASTRUCTURE. ANY ADDITIONAL UTILITY INFORMATION DIFFERING FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

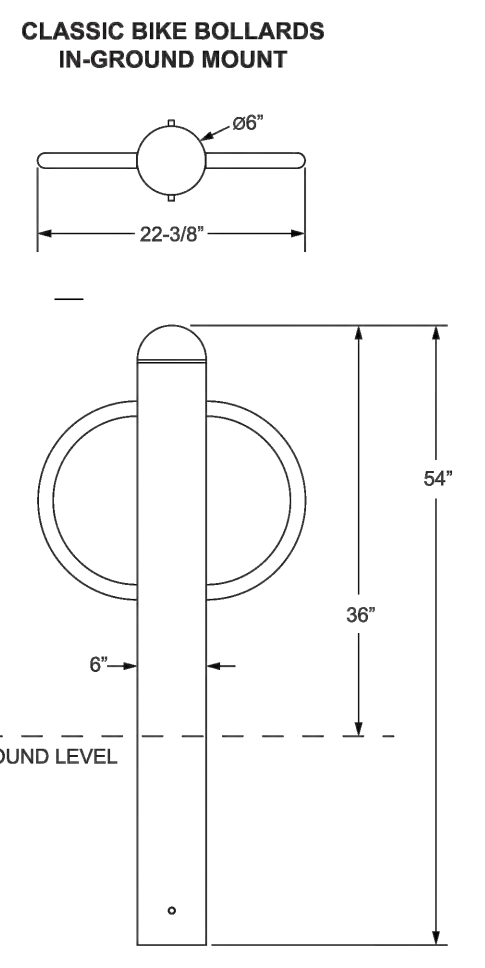
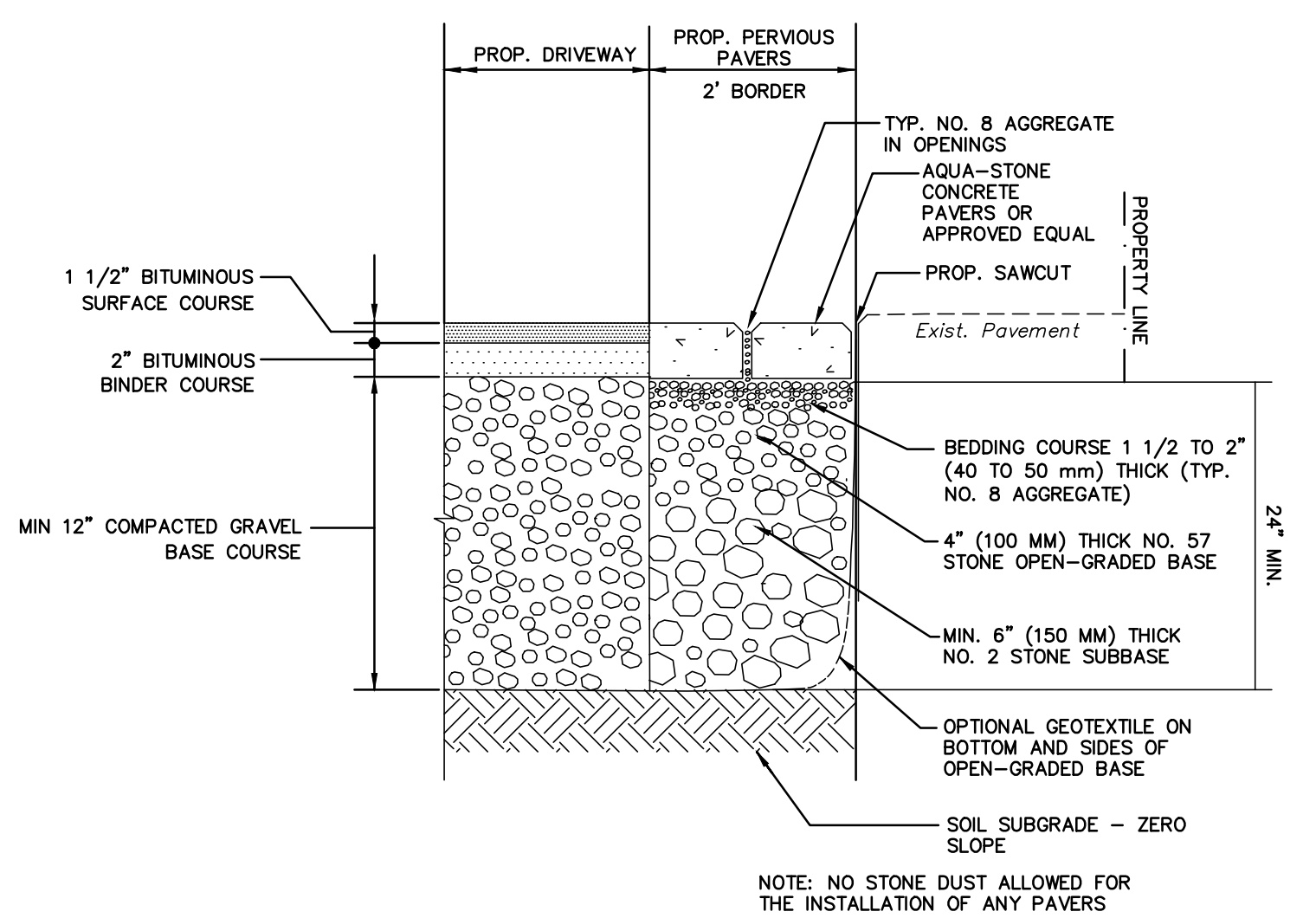
<p><b>Engineering Alliance, Inc.</b> Civil Engineering &amp; Land Planning Consultants 194 Central Street Salem, MA 01906 Tel: (603) 231-1349 Fax: (603) 417-0020</p>	
<p>PREPARED BY:</p>	<p>DATE: August 11, 2020 DWG FILE NAME: 19-29908.dwg CHECKED BY: Richard A. Salvo, P.E.</p>
<p>PROJECT:</p>	<p><b>Site Plan</b> <b>272 Tremont Street</b> (Tax Map C12 Block 0 Lot 9) <b>Melrose, Massachusetts</b></p>
<p>APPLICANT:</p>	<p><b>Eric Kenworthy</b> 49 Marmion Road Melrose, MA 02176</p>
<p>DWG. NO.</p>	<p><b>C-2</b></p>
<p>DRAWING TITLE:</p>	<p><b>Erosion Control &amp; Demolition Plan</b></p>
<p>DESCRIPTION OF REVISION</p>	<p>DATE</p>



Professional Engineer for  
Engineering Alliance, Inc.



**BITUMINOUS CONCRETE PAVEMENT / PERVIOUS PAVEMENT SECTIONS**  
NOT TO SCALE



**NOTES:**

- ANY CHANGES TO PROPOSED CURB CUTS OR ADDITION OF RADIUS BLOCKS TO SEPARATE THE PROPOSED DRIVEWAY FROM THE ADJACENT GARAGE ARE TO BE REVIEWED IN THE FIELD WITH THE ENGINEERING DIVISION PRIOR TO INSTALLATION.
- ALL ELEMENTS OF THE RIGHT-OF-WAY MUST BE RESTORED TO MEET ALL ADA ACCESSIBILITY REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DISRUPTION AND/OR DAMAGE TO EXISTING SIDEWALKS, PAVEMENT, AND PAVEMENT MARKINGS. ANY DISRUPTION AND/OR DAMAGE TO THESE ITEMS WILL BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE CITY OF MELROSE STANDARDS.
- PER THE CITY OF MELROSE TRAFFIC CODE, NO ON-STREET PARKING WILL BE ALLOWED ALONG THE FRONTAGE OF THE PROPOSED BUILDING.
- THE OWNER IS RESPONSIBLE FOR THE REMOVAL AND/OR DISPOSAL OF ALL ACCUMULATED SNOW WITHIN THE SIDEWALKS ADJUTING THE SUBJECT PROPERTY AND ONSITE. NO SNOW SHALL BE PLACED WITHIN THE CITY'S RIGHT-OF-WAY.
- PEDESTRIAN ACCESS IS TO BE MAINTAINED THROUGHOUT CONSTRUCTION AND MUST BE PROTECTED DURING DEMOLITION OF THE EXISTING BUILDING. BICYCLE ACCESS ON TREMONT STREET SHOULD BE MAINTAINED ALONG THE CITY'S NORTH-SOUTH BIKE ROUTE.

**LEGEND - SITE LAYOUT PLAN**

PROPERTY LINE	---
PROPOSED BUILDING	▬
PROPOSED PARKING COUNT	□
PROPOSED CONCRETE SIDEWALK	▬
PROPOSED LANDSCAPED AREA	▬
PROPOSED BIT. CONC. CURB	▬
PROPOSED STRIPING	▬
PROPOSED HANDICAP PARKING	♿
RIGHT OF WAY	▬

**DIMENSIONAL AND DENSITY REGULATIONS**  
BA-2

ITEM	REQUIRED	PROVIDED	VARIANCE/SPECIAL PERMIT REQUIRED
MINIMUM LOT AREA	5,000 S.F.	10,490 S.F.	NO
MINIMUM FRONTAGE	50 FT	77.97'	NO
MINIMUM LOT DEPTH	90 FT	± 155'	NO
MAXIMUM FRONT YARD SETBACK	5 FT	3.0'	NO
MINIMUM SIDE YARD SETBACK	-	6.0'	NO
MINIMUM REAR YARD SETBACK	-	5.1'	NO
MAX STORIES	4	4	NO
MAX HEIGHT	50'	43.5'	NO
MAX COVERAGE	-	-	NO
MINIMUM OPEN SPACE	5%	7.0 %	NO
MAXIMUM FLOOR AREA RATIO	2.0	1.80	NO

**PARKING CALCULATIONS**

COMPONENT	REQUIRED	PROPOSED
MULTI-FAMILY DWELLING (13 RESIDENTIAL UNITS + 2 AFFORDABLE HOUSING UNIT)	15 SPACES 1 SPACE PER UNIT 15 UNITS X 1 SPACE PER UNIT	12
RETAIL (600 S.F.)	2 SPACES 1 SPACE PER 300 S.F. 1 UNIT + 300 S.F PER UNIT	2
<b>TOTAL</b>	<b>17 SPACES</b>	<b>14 SPACES</b>

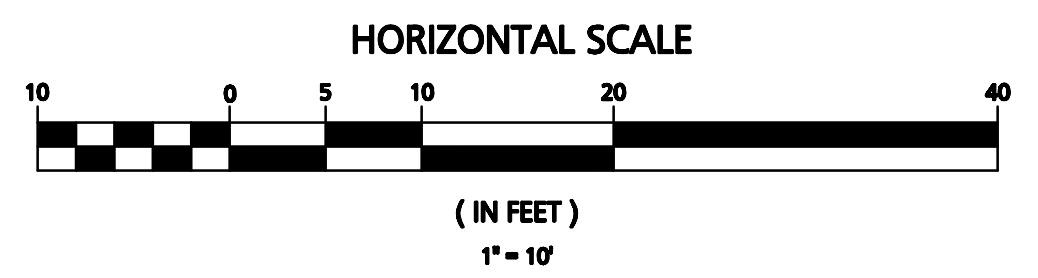
- STANDARD PARKING SPACE 9'x18'
- ACCORDING TO CHAPTER 235, ARTICLE VIII, SECTION (235-41.0) IN THE MELROSE ZONING ORDINANCE "EACH OFF-STREET PARKING SPACE SHALL HAVE DIRECT ACCESS TO AN AISLE OR DRIVEWAY HAVING A MINIMUM WIDTH OF 24 FEET IN CASE OF TWO-WAY TRAFFIC OF THE FOLLOWING WIDTHS IN CASE OF ONE-WAY TRAFFIC ONLY:  
ANGLE OF PARKING - 90 DEGREES MIN. AISLE WIDTH - 20 FEET "
- RELIEF REQUESTED TO ALLOW A 20-FT ISLE WIDTH FOR TWO WAY TRAFFIC WHERE 24-FT IS REQUIRED.

**DENSITY BONUS**  
DENSITY BONUS ALLOWED PER AFFORDABLE UNITS (15% AFFORDABLE)  
0.15 X 13 = 1.95 UNITS => 2 ADDITIONAL UNITS  
**TOTAL UNIT COUNT = 15 UNITS**  
**(13 MARKET RATE + 2 AFFORDABLE)**

A REDUCTION IN REQUIRED PARKING IS REQUESTED DUE TO THE SUBJECT PROPERTY'S PROXIMITY TO PUBLIC TRANSIT AS WELL AS AVAILABILITY OF PARKING FROM MIXED USE ON-SITE WITH OFFSET PEAK PARKING DEMAND TIMES.

**SIGN TABLE**

REGULATORY DESCRIPTION	SIGN	SIZE	MOUNTING HEIGHT FROM TOP OF SIGN	DESCRIPTION	REFLECTORIZED
R7-8		12" X 20"	7' - 0"	BLUE ON WHITE	YES
R5-1		24" X 24"	7' - 0"	RED ON WHITE	YES
R1-1		24" X 24"	7' - 0"	WHITE ON RED	YES
K-2844		12" X 18"	7' - 0"	BLACK ON YELLOW	YES



REVISED PER CITY ENGINEER COMMENTS	8/11/2020
ADD PERVIOUS PAVERS	6/30/2020
REV PER COMMUNITY DEVELOPMENT COMMENTS	4/17/2020
DESCRIPTION OF REVISION	DATE

PREPARED BY:

PROJECT: **Site Plan 272 Tremont Street (Tax Map C12 Block 0 Lot 9) Melrose, Massachusetts**

DATE: January 8, 2020  
DWG FILE NAME: 19-29906.dwg  
CHECKED BY: Richard A. Salvo, P.E.

PROJECT #: 19-29908  
SCALE: AS NOTED  
DESIGN BY: Calvin Reach

Professional Engineer for Engineering Alliance, Inc.

APPLICANT: **Eric Kenworthy**  
48 Main Street  
Melrose, MA 02176

DRAWING TITLE: **Site Layout Plan**

DWG. NO. **C-3**

**DRAINAGE NOTES:**

1. ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH GAS/OIL HOODS AND 4 FOOT SUMPS.
2. ALL STORM DRAINAGE PIPES SHALL BE 12" HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E) CORRUGATED OUTSIDE & SMOOTH INSIDE UNLESS NOTED OTHERWISE.
3. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASUREMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF 10' FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
4. REFER TO ARCHITECTURAL DRAWINGS FOR ALL SERVICE CONNECTIONS (I.E., ROOF DRAINS, WATER AND SEWER SERVICES, ETC.) WITHIN 10'-FT OF THE BUILDING WALLS.

**LEGEND - GRADING, DRAINAGE, & UTILITY**

PROPERTY LINE	---
PROPOSED BUILDING	▬
PROPOSED DRAIN LINE	▬
PROPOSED CDS UNIT W/ GRATE	⊙
PROPOSED SEWER LINE	— S — S — S —
PROPOSED SEWER CLEANOUT	●
PROPOSED GAS TRAP	⊕
PROPOSED WATER LINE	— W — W — W —
PROPOSED GATE VALVE	⊗
PROPOSED WATER SHUT OFF	WSO
PROPOSED SPOT SHOT	+81.5

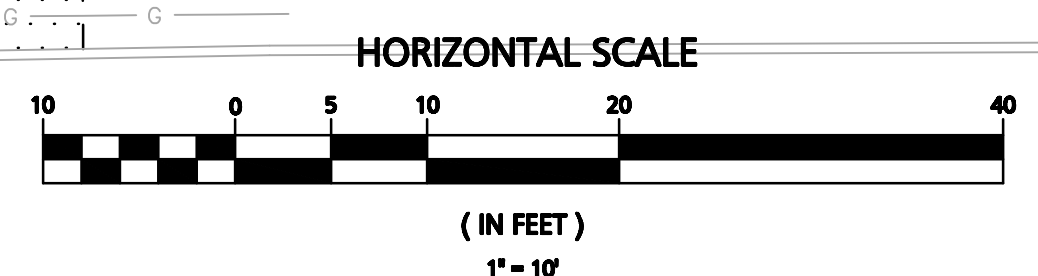
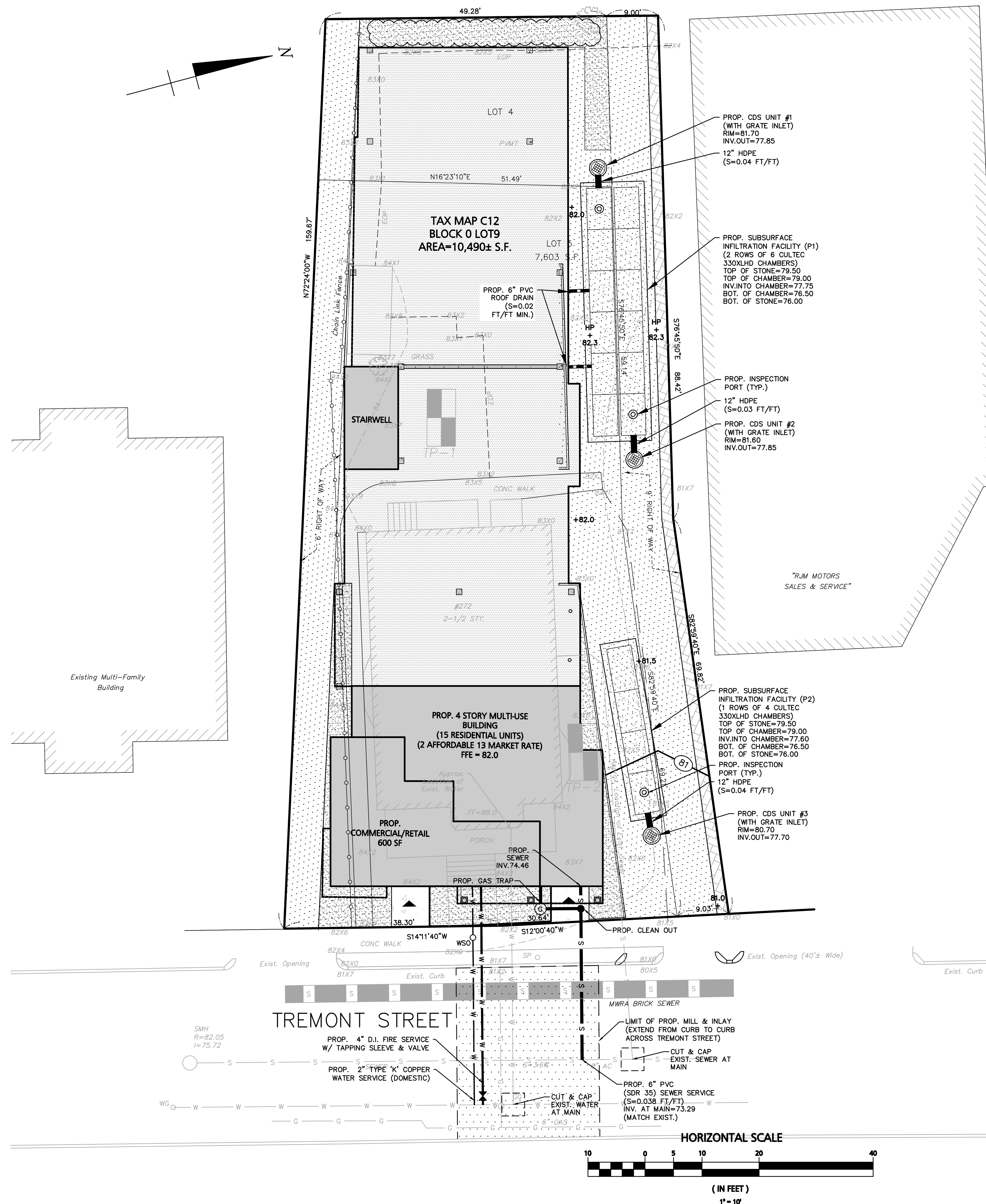
**GENERAL UTILITY NOTES:**

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. UTILITIES BOTH ON-SITE AND WITHIN THE RIGHT-OF-WAY SHALL BE MARKED OUT PRIOR TO CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
3. THE CONTRACTOR SHALL EXCAVATE TEST PITS PRIOR TO COMMENCING WORK TO DETERMINE THE EXACT LOCATION OF WATER AND GAS SERVICES.
4. ALL PROPOSED WORK SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE CITY OF MELROSE, AND IS SUBJECT TO QUALITY CONTROL TESTING AT THE DISCRETION OF THE ENGINEERING DEPT. AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE CITY OF MELROSE D.P.W. PRIOR TO THE COMMENCEMENT OF ANY UTILITY WORK.
5. ALL UTILITY WORK WITHIN ANY RIGHT-OF-WAY SHALL BE PERFORMED BY A CONTRACTOR LICENSED BY THE DPW & OBTAIN A PERMIT FOR SUCH WORK FROM THE DPW.
6. ANY CHANGE IN THE FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER TO ENSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN CONFORM TO STANDARD ENGINEERING AND CONSTRUCTION PRACTICES AND ADEQUATE TO SERVE THE PROJECT'S NEEDS AND COMPLY WITH APPLICABLE STANDARDS AND REGULATIONS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES AS SHOWN ON THESE PLANS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE UTILITY COMPANY STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH THESE REGULATIONS.
8. THE CONTRACTOR IS RESPONSIBLE TO CONTACT AND DETERMINE, COORDINATE AND SCHEDULE ALL NECESSARY INSPECTIONS AND MONITORING WITH ALL APPROPRIATE UTILITY COMPANIES.
9. THE CONTRACTOR OR OWNER IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO PERFORM THE WORK.
10. DISPOSAL OF ALL MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF THE PROJECT & SHALL SUBMIT AS-BUILT DRAWINGS SHOWING ALL UTILITIES AS INSTALLED. ANY REVISIONS REQUIRED BY THE CITY SHALL BE MADE AND FINAL HARD COPIES AND ELECTRONIC FILES MUST BE SUBMITTED OF THE FINAL AS-BUILT PLANS.
12. ANY WORK PERFORMED WITHIN THE TREMONT STREET RIGHT-OF-WAY WILL REQUIRE CURB-TO-CURB RESTORATION PER THE CITY'S 2020 ROADWAY CONDITION ASSESSMENT. RESTORATION WILL BE REQUIRED FROM ONE-FOOT BEYOND THE LIMITS OF TRENCHES AT EACH END OF THE PAVING AREA. DETAILS OF THE RESTORATION WILL BE DICTATED BY THE ENGINEERING DIVISION VIA A RIGHT-OF-WAY PERMIT REQUIRED TO BE OBTAINED FOR THE PROJECT.
13. ALL WATER METERS INSTALLED OR REPLACED AS PART OF THE PROJECT SHALL INCLUDE RADIO-READ TECHNOLOGY AS PER CITY OF MELROSE STANDARDS.
14. ALL BACKFLOW PREVENTION DEVICES MUST BE REGISTERED FOR ROUTINE INSPECTIONS WITH THE CITY OF MELROSE'S SUBCONTRACTOR, WATER SAFETY SERVICES INC.
15. INSTALLATION WORK FOR ALL DOMESTIC WATER AND FIRE SERVICES SHALL BE PERFORMED USING WET TAPS. PLANNED DISRUPTION OF WATER SERVICE WILL NOT BE ALLOWED.
16. NO UNMETERED WATER USE DURING CONSTRUCTION IS ALLOWED. IF CONSTRUCTION WATER IS NEEDED FROM AN ADJACENT HYDRANT, THIS MUST BE COORDINATED WITH THE MELROSE FIRE DEPARTMENT AND WATER DIVISION. A CHECKLIST FOR DEMOLITION REQUIREMENTS MUST BE OBTAINED, SIGNED AND RETURNED TO THE ENGINEERING DIVISION PRIOR TO SIGN-OFF OF ANY DEMOLITION PERMITS.
17. ANY/ALL ALTERATIONS TO UTILITIES SERVING THE PROPERTY WILL REQUIRE THAT PERMITS BE OBTAINED BY A BONDED AND INSURED CONTRACTOR THROUGH THE ENGINEERING DIVISION OF PUBLIC WORKS. THIS INCLUDES TRENCH WORK REQUIRED AND ALL WORK WITHIN THE RIGHT-OF-WAY.

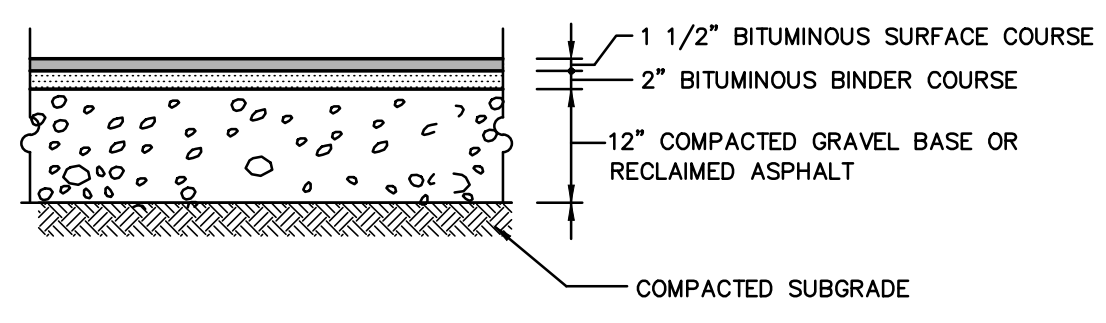
**SOIL TEST PIT DATA**

SOIL TESTING AND EVALUATION BY: ERIC J. BRADANES  
 ENGINEERING ALLIANCE, INC. SE13860  
 DATE OF TEST: 7/31/2020

TEST PIT	APPROX. GRADE EL.	SOIL TYPE	DEPTH	WEPPING OBSERVED	STANDING WATER	MOTTLES OBSERVED
TP-1	83.5±	A HORIZON	0" - 14"	NONE	NONE	NONE
		Bw HORIZON	14" - 36"	NONE	NONE	NONE
		C HORIZON	36" - 96"	NONE	NONE	NONE
TP-2	83.6±	FILL	0" - 8"	NONE	NONE	NONE
		Ab	8" - 14"	NONE	NONE	NONE
		Bw	14" - 24"	NONE	NONE	NONE
		C HORIZON	24" - 96"	NONE	NONE	NONE

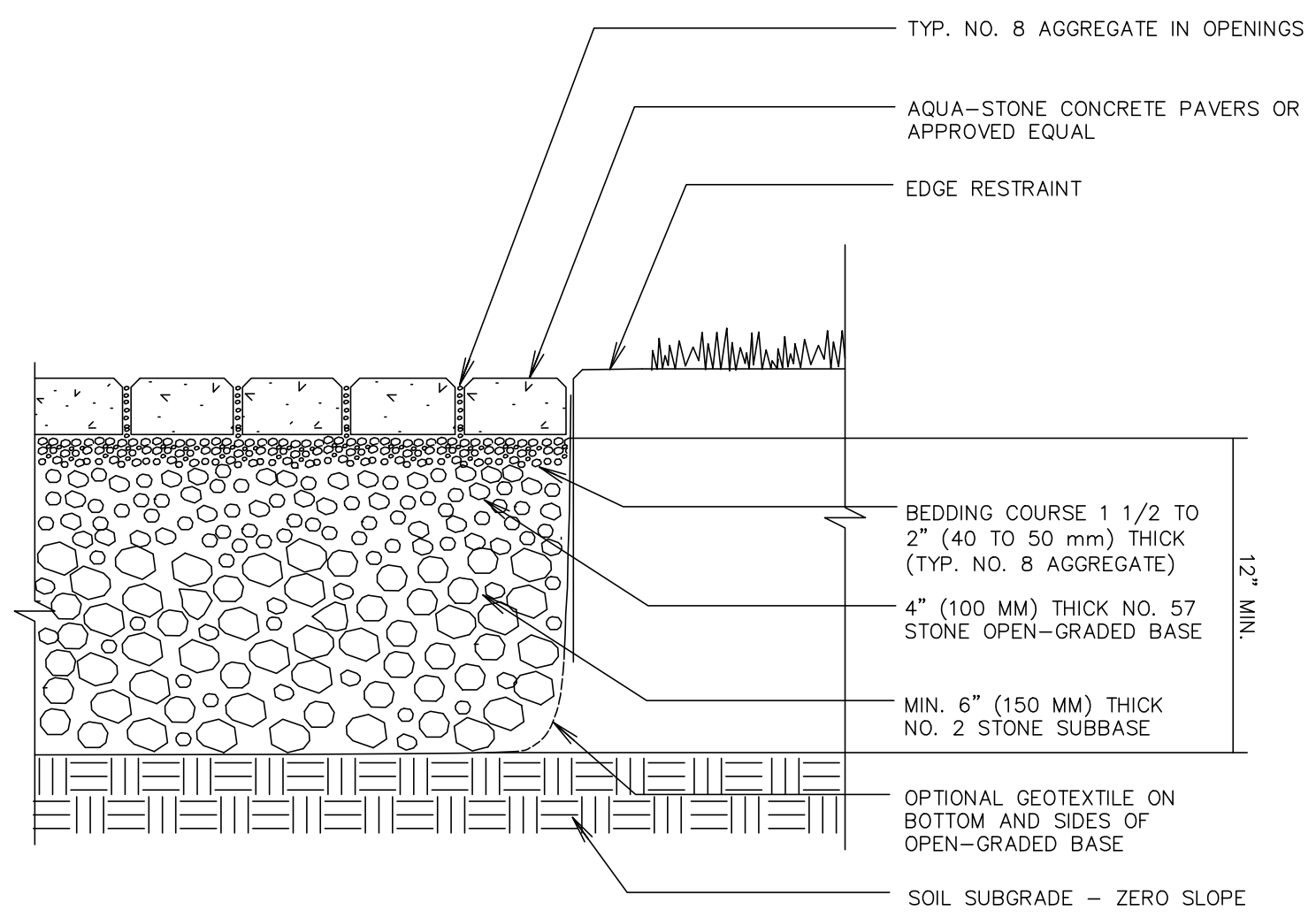


<b>Engineering Alliance, Inc.</b> Civil Engineering & Land Planning Consultants 194 Central Street Saugus, MA 01906 Tel: (603) 610-2100 Fax: (603) 610-7101	REVISED PER CITY ENGINEER COMMENTS 8/11/2020	REV PER COMMUNITY DEVELOPMENT COMMENTS 4/1/2020	DATE	DESCRIPTION OF REVISION
<b>Site Plan</b> 272 Tremont Street (Tax Map C12 Block 0 Lot 9) Melrose, Massachusetts	DATE: January 8, 2020	DWG FILE NAME: 19-29908.dwg	CHECKED BY: Richard A. Salvo, P.E.	DESIGN BY: Calvin Reach
<b>Eric Kenworthy</b> 49 Marmion Road Melrose, MA 02176	Professional Engineer for Engineering Alliance, Inc.			
DRAWING TITLE: <b>Grading, Drainage, &amp; Utility Plan</b>				
DWG. NO. <b>C-4</b>				



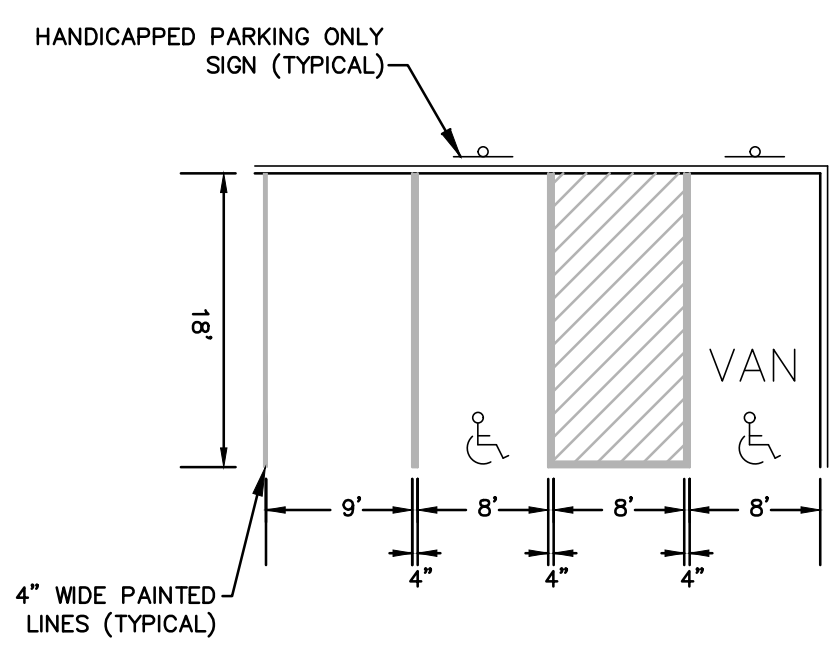
- NOTES:**
1. NEW STANDARD PAVEMENT SHALL CONSIST OF A 3" TOTAL THICKNESS IN ALL PAVED AREAS OF MASSHIGHWAY CLASS 1. TYPE 1 BITUMINOUS CONCRETE APPLIED IN TWO COURSES, ONE 1-1/2" SURFACE COURSE OVER ONE 2" BINDER COURSE OVER A 12" COMPACTED RECLAIMED ASPHALT BASE. COMPACT THE UPPER 12" OF RECLAIMED BASE COURSE, PAVEMENT BINDER AND SURFACE COURSES TO 95 PERCENT OF MAXIMUM DENSITY, AS DETERMINED FOR EACH MATERIAL BY THE APPLICABLE TEST METHODS.
  2. OWNER'S ENGINEER RESERVES THE RIGHT TO REQUEST COMPACTION TESTS AND/OR CORE SAMPLES. IF TESTS ARE BEYOND THOSE REQUIRED BY THE SPECIFICATIONS AND PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF THE OWNER, OTHERWISE THE CONTRACTOR WILL BE RESPONSIBLE FOR TESTING COST.
  3. PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

**STANDARD PAVEMENT SECTION**  
NOT TO SCALE

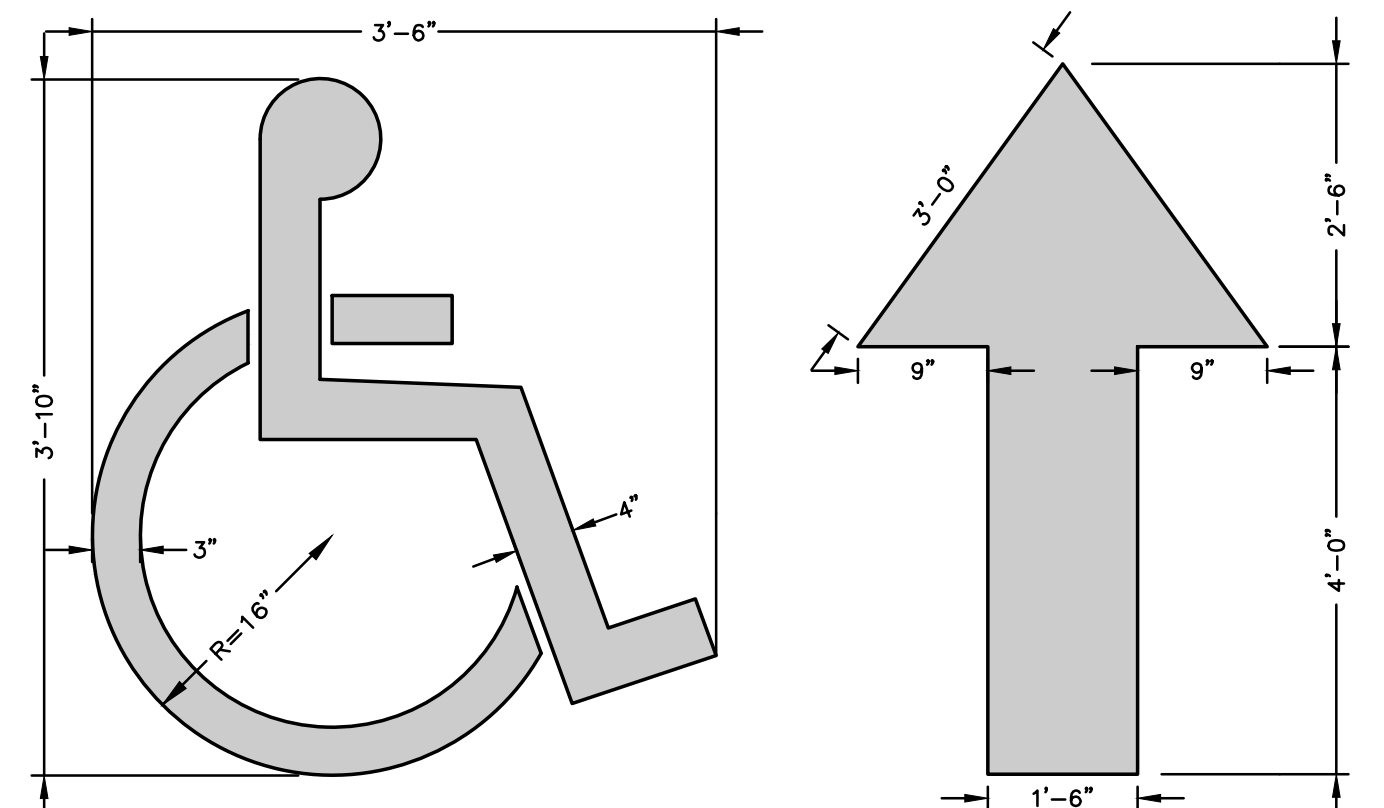


**PERMEABLE PAVER DETAIL**  
NOT TO SCALE

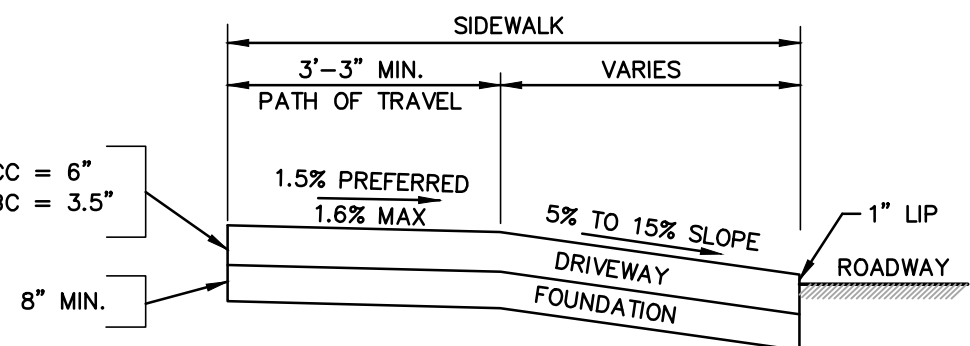
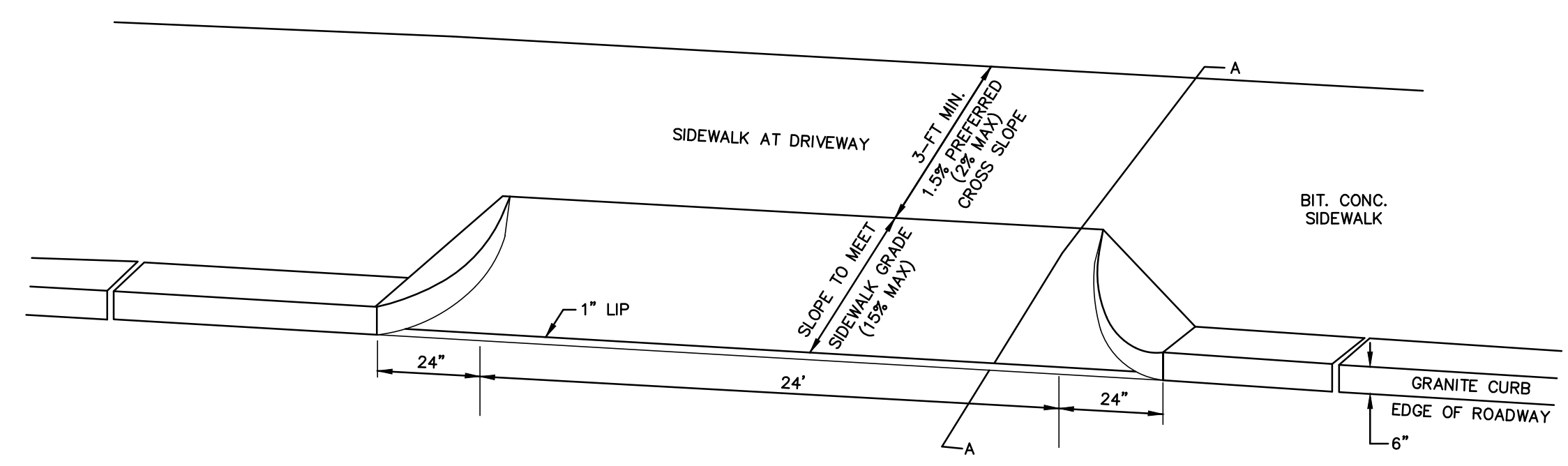
NOTE: NO STONE DUST ALLOWED FOR THE INSTALLATION OF ANY PAVERS



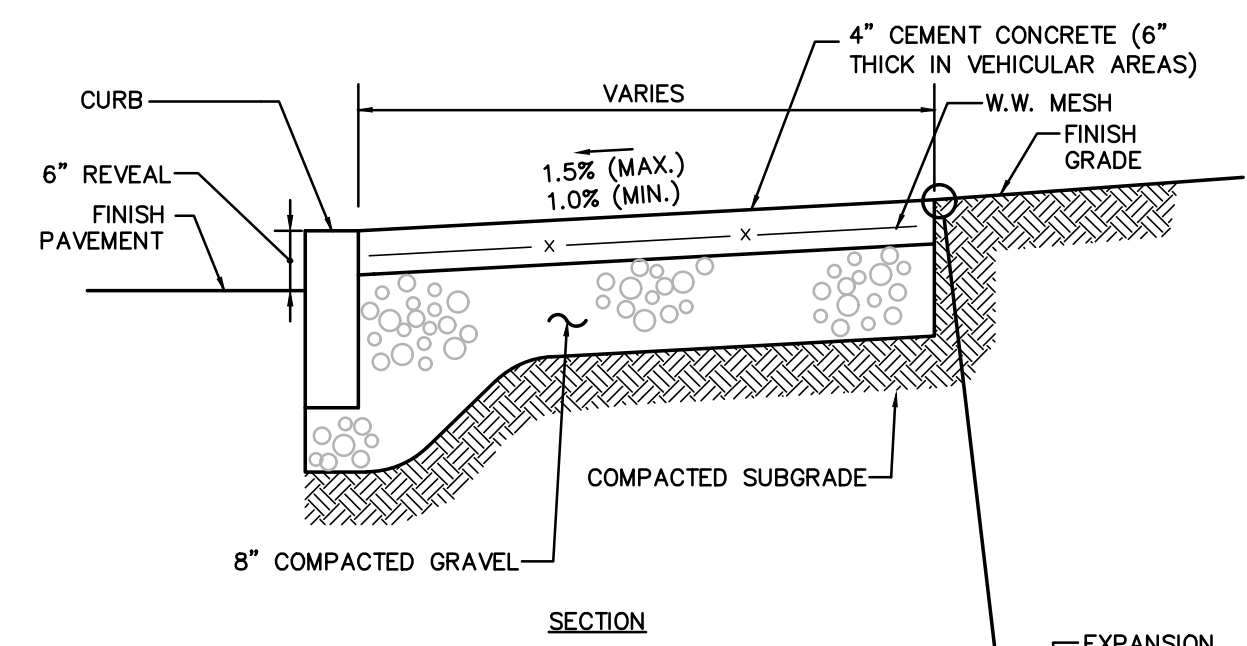
**HANDICAP AND STANDARD PARKING DETAIL**  
NOT TO SCALE



**PAINTED HANDICAP SYMBOL & TRAFFIC ARROW DETAIL**  
NOT TO SCALE



**DRIVEWAY DETAIL**  
NOT TO SCALE

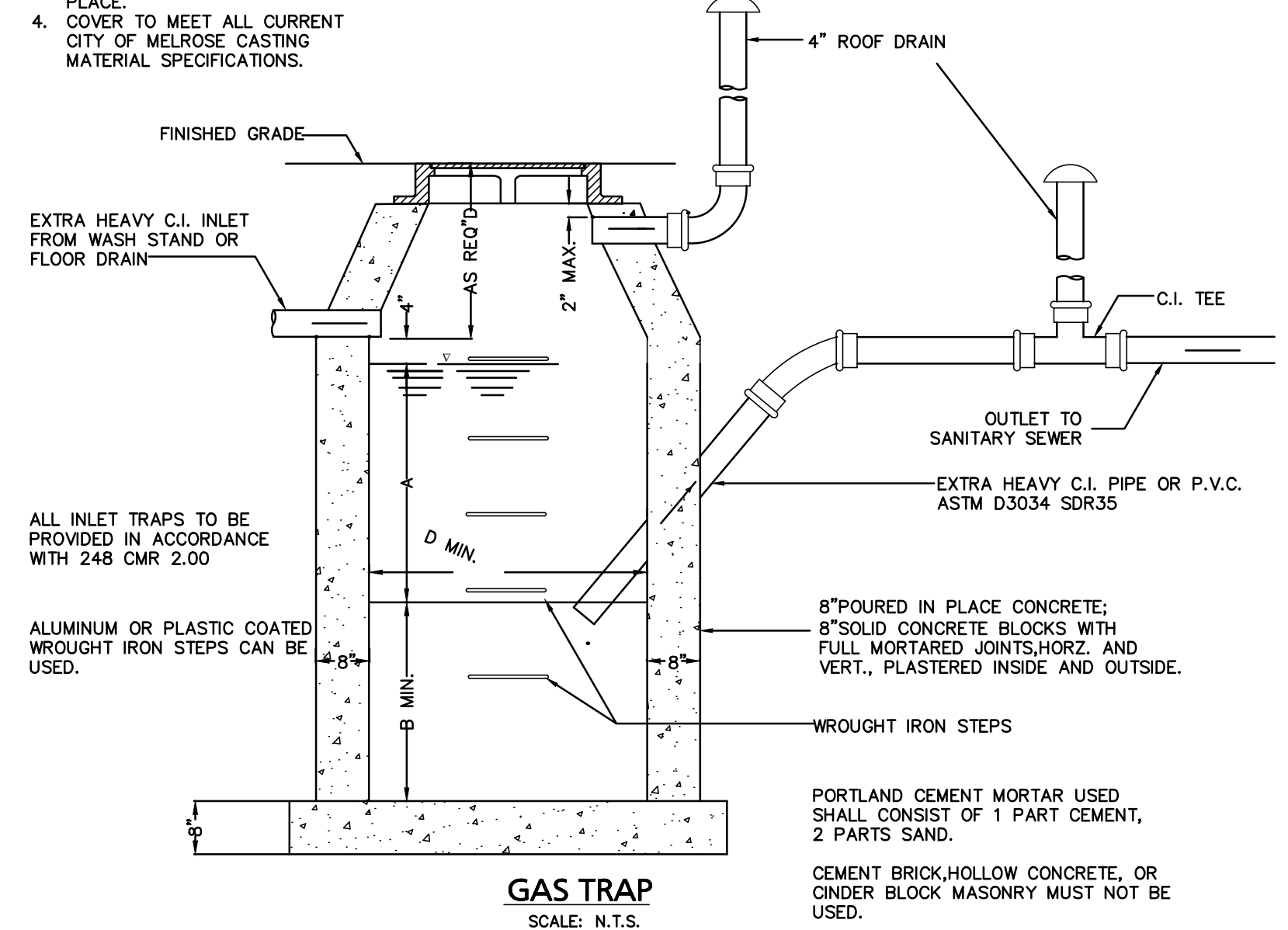


**CONCRETE SIDEWALK**  
NOT TO SCALE

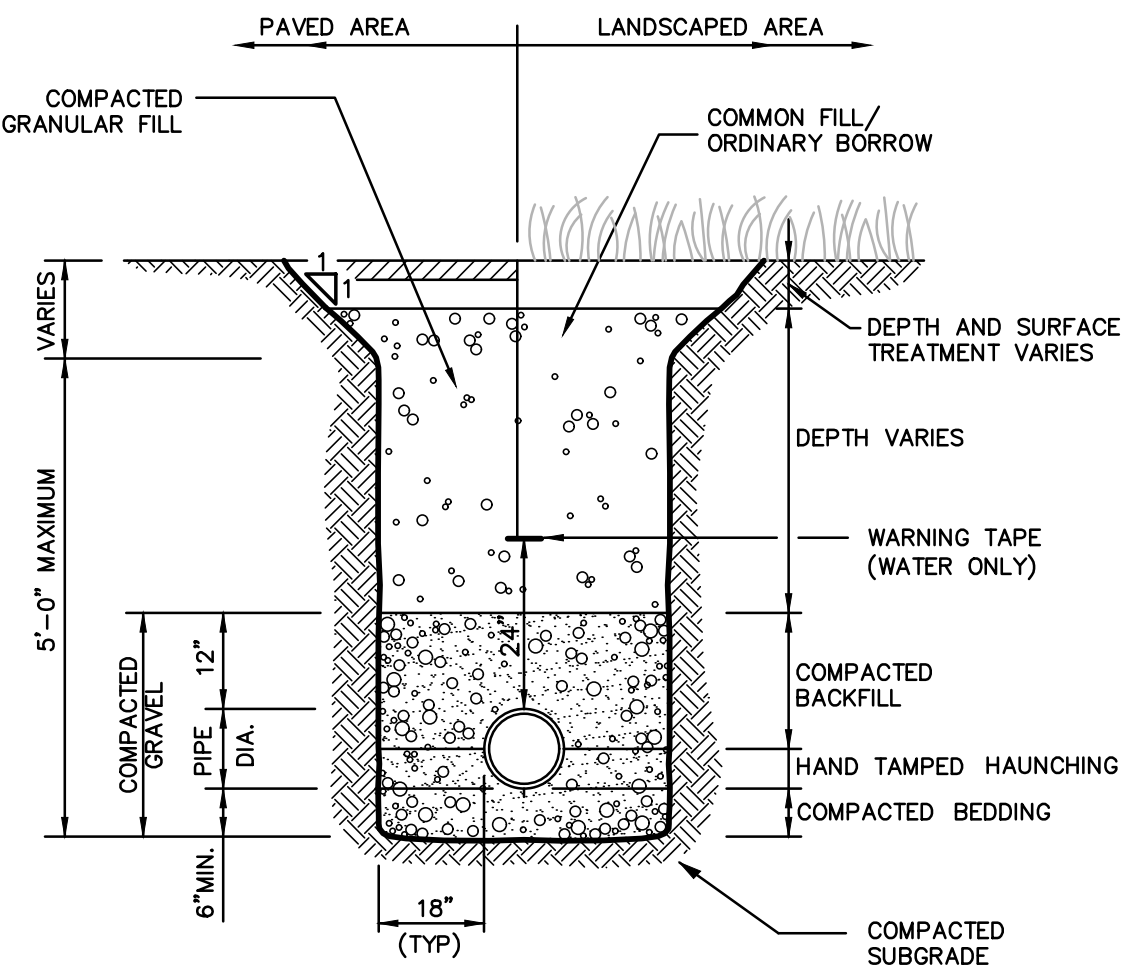
- NOTES:**
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-MOULDED JOINT FILLER.
  2. PROVIDE CONTROL JOINTS AT 6' O.C.
  3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
  4. CEMENT CONCRETE SHALL BE 4000 PSI-TYPE II

INLET	D	A	B	INLET	D	A	B
4"	3'-6"	3'-0"	2'-6"	8"	5'-0"	6'-0"	5'-0"
5"	3'-6"	5'-0"	4'-0"	6"	5'-0"	5'-6"	4'-0"
	3'-6"	3'-6"	4'-0"		6'-0"	4'-0"	3'-6"
	3'-6"	3'-6"	3'-6"		6'-0"	6'-0"	3'-6"
	3'-6"	3'-6"	3'-0"		6'-6"	3'-6"	3'-0"
	3'-6"	3'-6"	3'-0"		6'-6"	6'-6"	3'-0"
6"	4'-0"	5'-0"	4'-6"	10"	5'-6"	7'-6"	6'-6"
	4'-0"	4'-0"	4'-0"		6'-0"	6'-0"	4'-6"
	4'-6"	4'-0"	3'-6"		6'-0"	6'-6"	5'-6"
	4'-6"	4'-6"	3'-6"		6'-0"	6'-6"	6'-6"
	5'-0"	3'-6"	2'-6"		6'-6"	6'-6"	5'-0"
	5'-0"	5'-0"	2'-6"		6'-6"	6'-6"	4'-0"

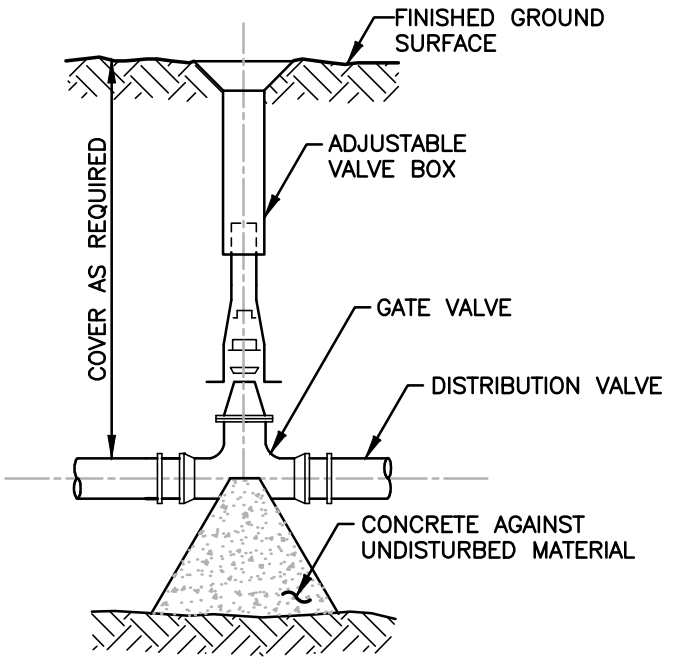
- NOTES:**
1. PORE USE TO DRAIN INDOOR COVER AREAS ONLY.
  2. FOR INLETS LARGER THAN 10" THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE.
  3. PRE-CAST SEPARATORS ARE TO HAVE ALL SPECIFIED HOLES EITHER CORE-BORED OR CAST IN PLACE.
  4. COVER TO MEET ALL CURRENT CITY OF MELROSE CASTING MATERIAL SPECIFICATIONS.



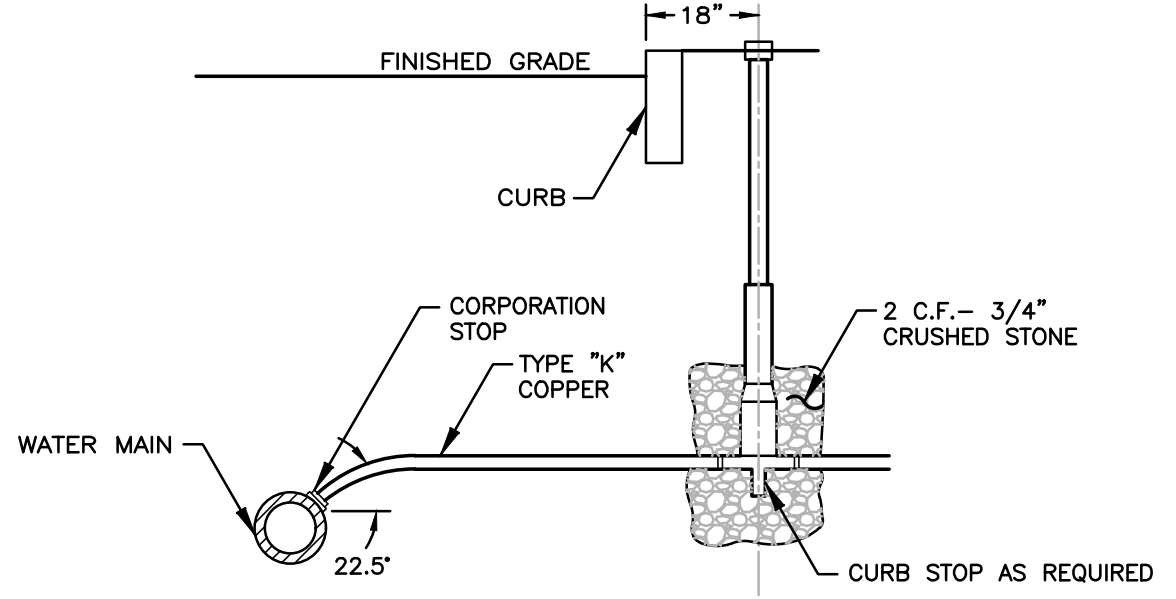
**GAS TRAP**  
SCALE: N.T.S.



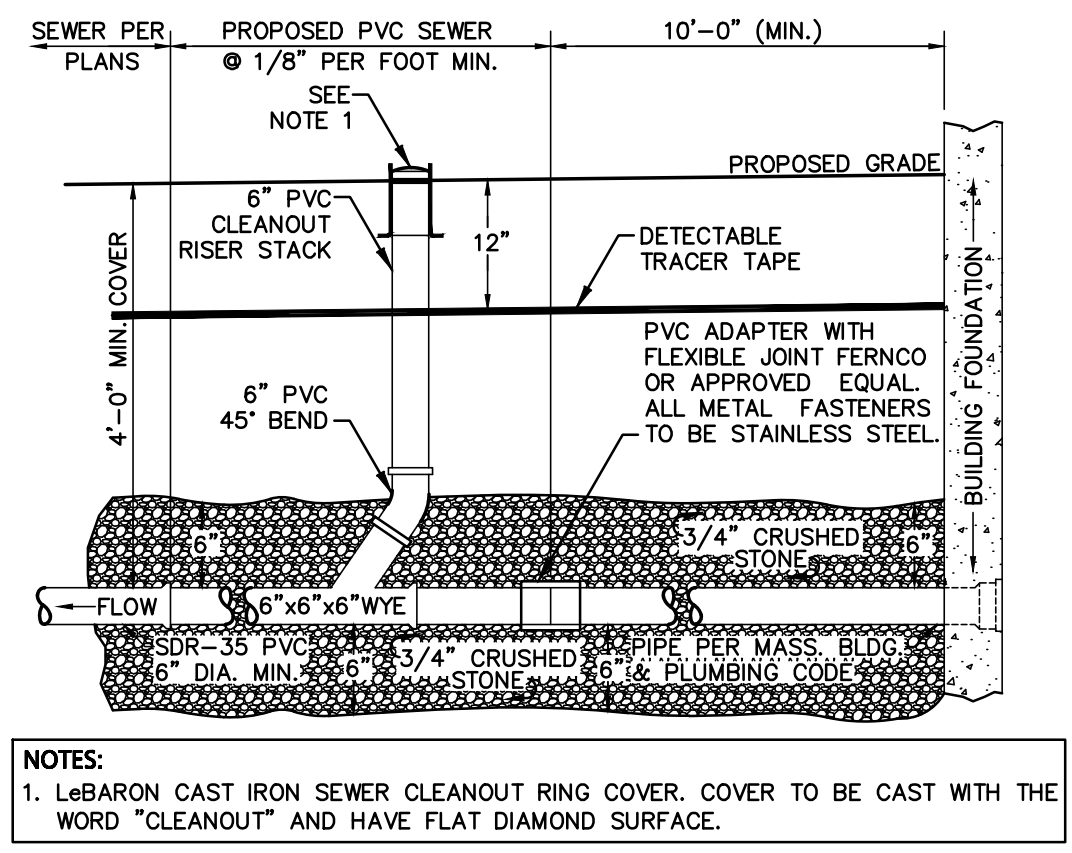
**UTILITY TRENCH**  
NOT TO SCALE



**WATER GATE DETAIL**  
NOT TO SCALE

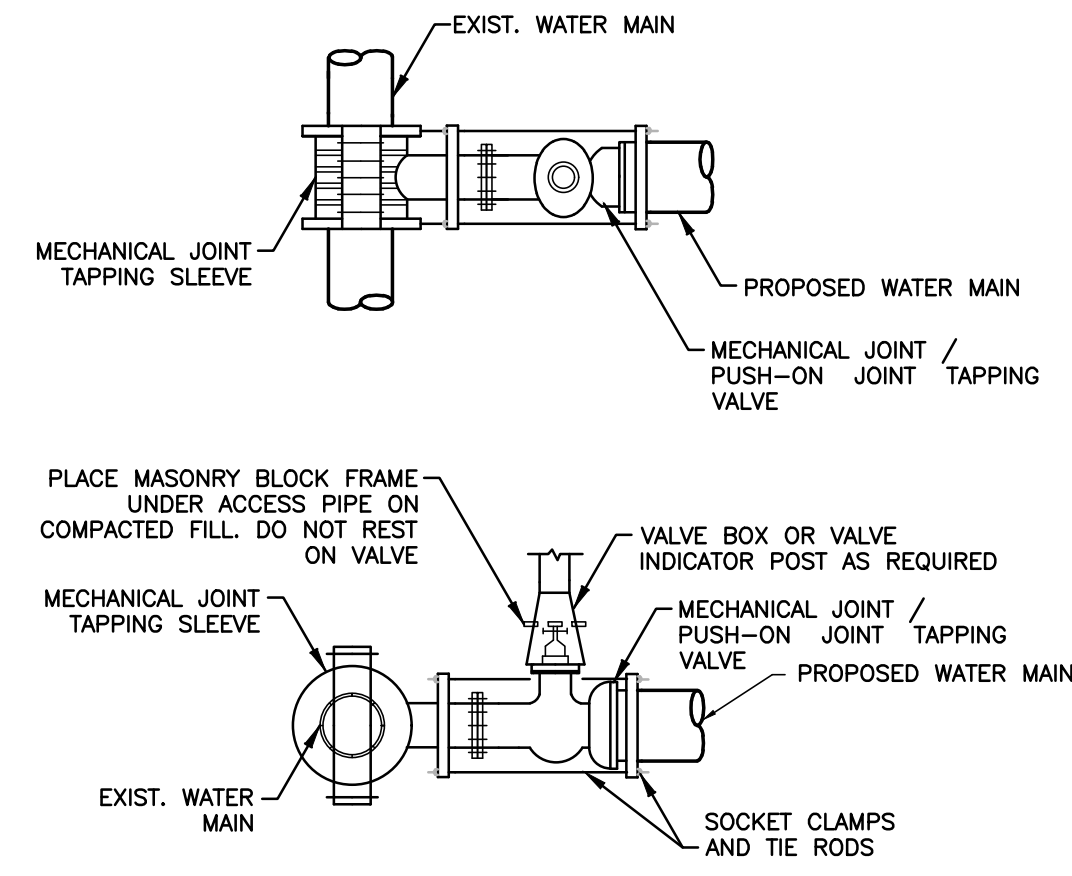


**TYPICAL WATER SERVICE CONNECTION**  
NOT TO SCALE

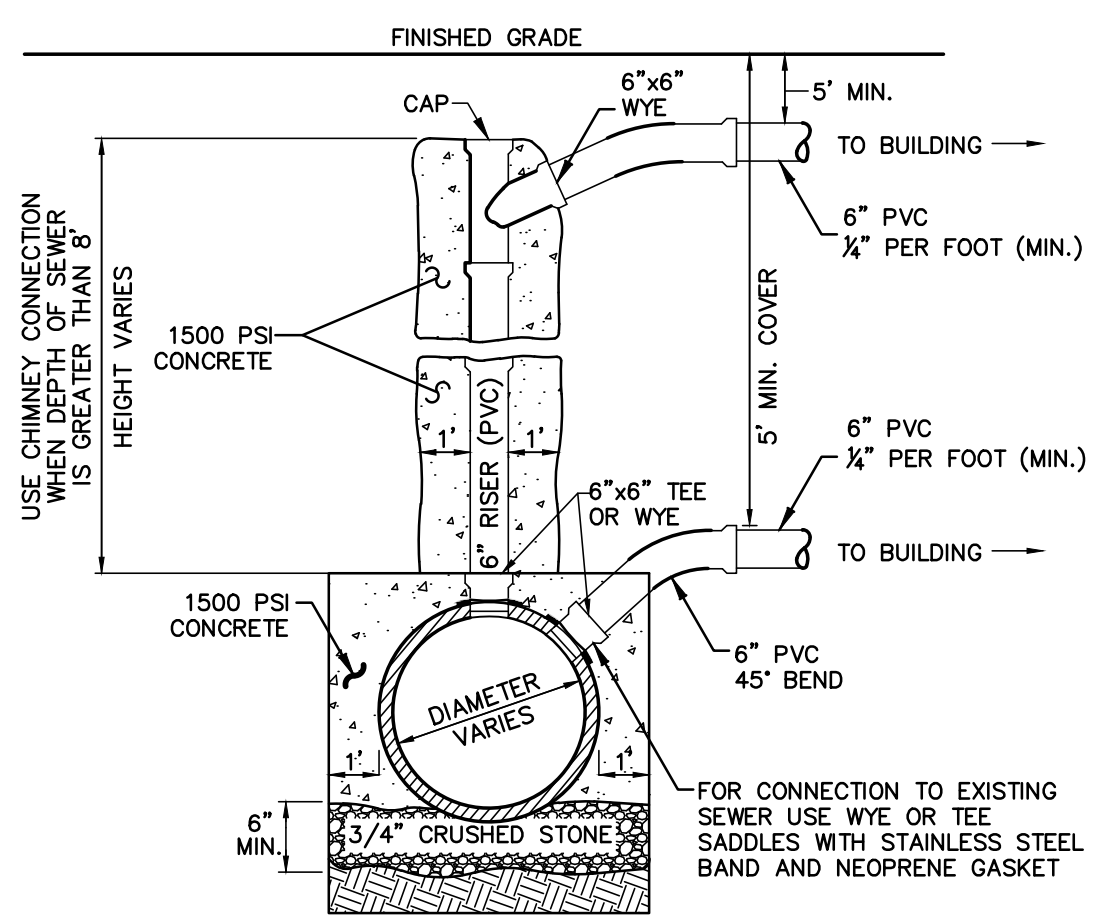


**SANITARY SEWER SERVICE AT BUILDING**  
NOT TO SCALE

- NOTES:**
1. LeBARON CAST IRON SEWER CLEANOUT RING COVER. COVER TO BE CAST WITH THE WORD "CLEANOUT" AND HAVE FLAT DIAMOND SURFACE.



**TAPPING SLEEVE AND VALVE**  
NOT TO SCALE



**SANITARY SEWER SERVICE AT MAIN**  
NOT TO SCALE

USE CHIMNEY CONNECTION WHEN DEPTH OF SEWER IS GREATER THAN 8' HEIGHT VARIES

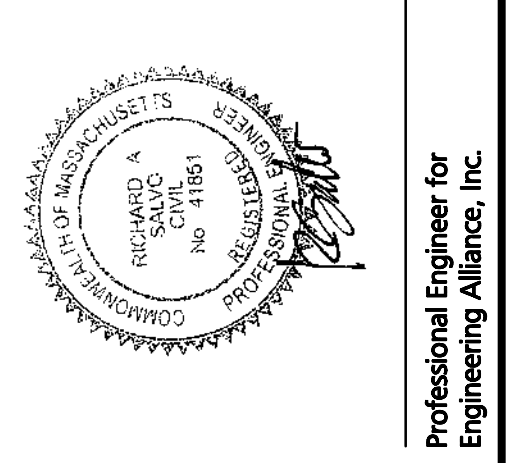
REVISED PER CITY ENGINEER COMMENTS	DATE
8/11/2020	
REV PER COMMUNITY DEVELOPMENT COMMENTS	4/1/2020

**Engineering Alliance, Inc.**  
Civil Engineering & Land Planning Consultants  
194 Central Street  
Salem, MA 01906  
Tel: (603) 610-2100  
Fax: (603) 610-7101

**Site Plan**  
272 Tremont Street  
(Tax Map C12 Block 0 Lot 9)  
Melrose, Massachusetts

PROJECT # 19-29908  
SCALE: AS NOTED  
DESIGN BY: Calvin Reach

DATE: January 8, 2020  
DWG FILE NAME: 19-29908.dwg  
CHECKED BY: Richard A. Salvo, P.E.

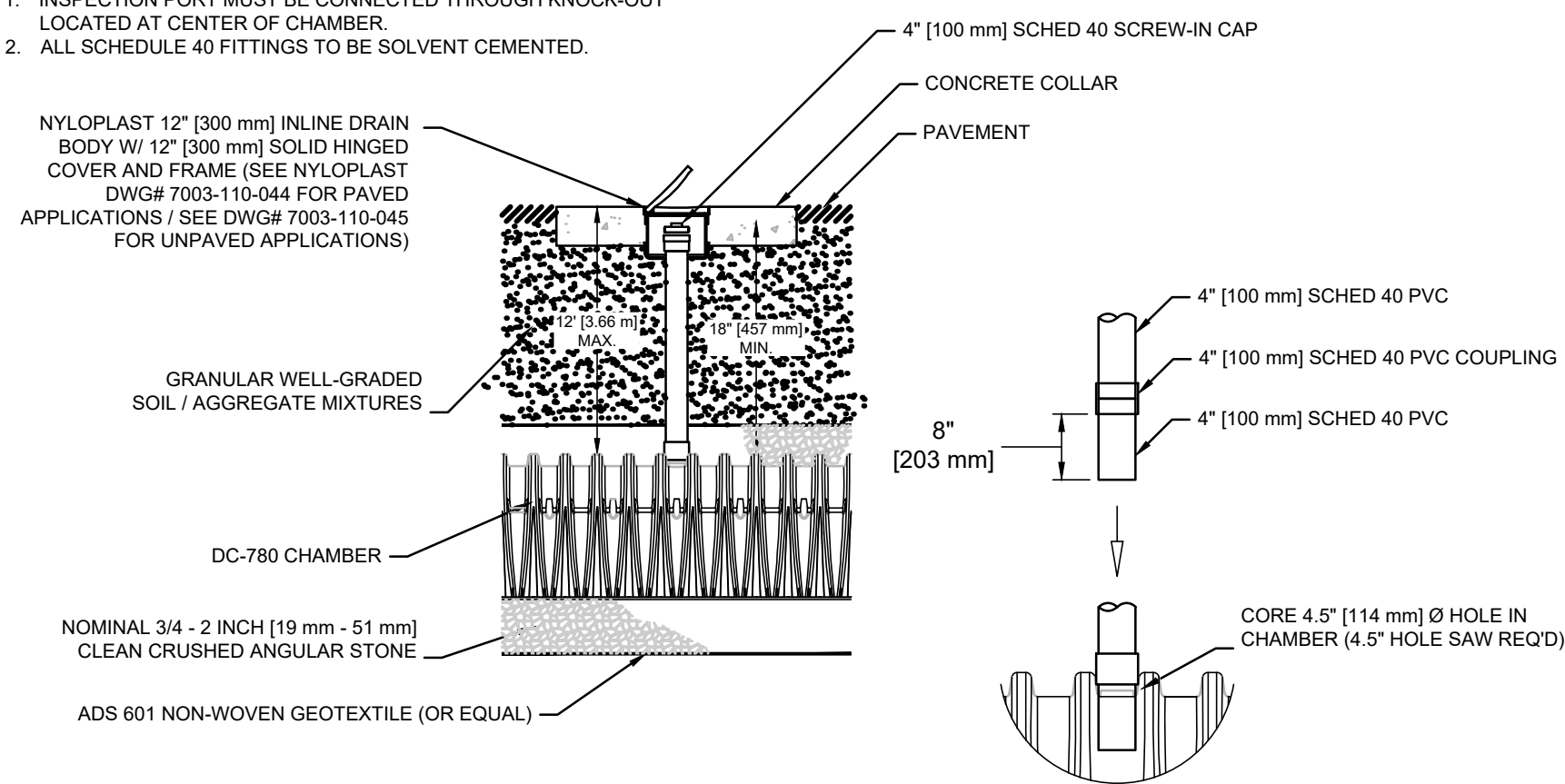


**Eric Kenworthy**  
49 Marmion Road  
Melrose, MA 02176

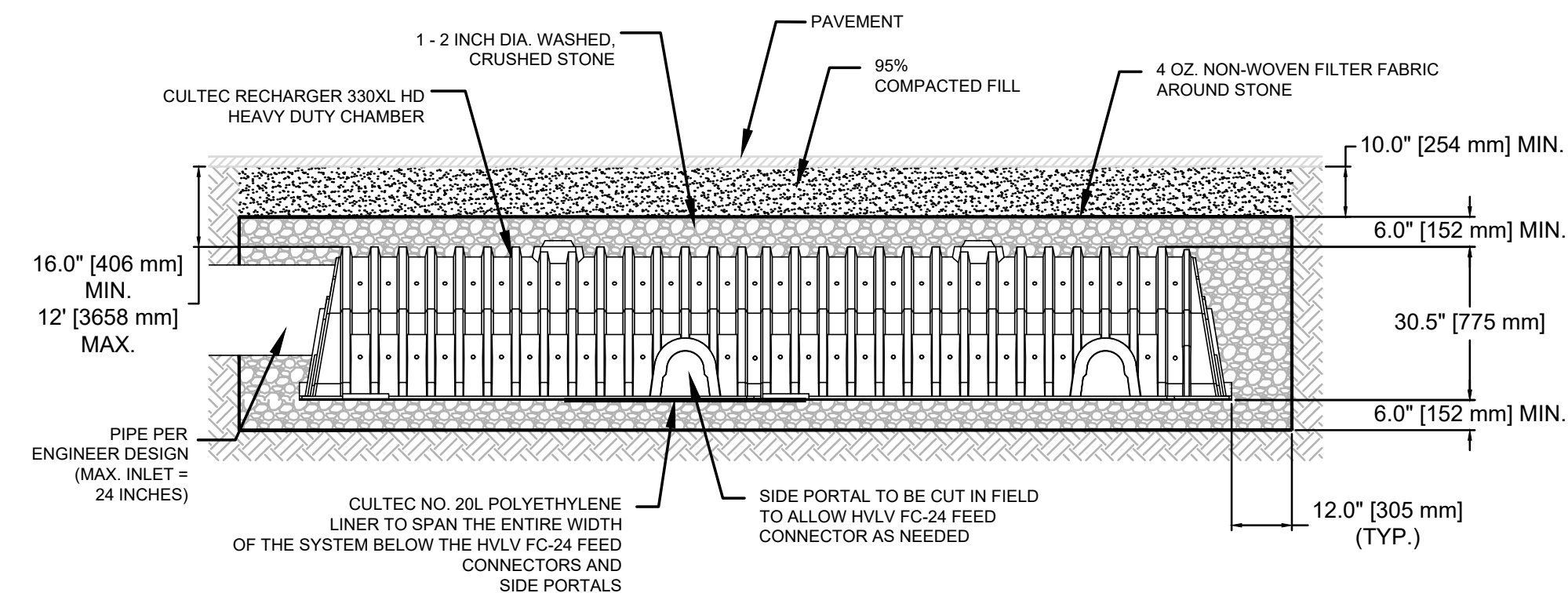
**Construction Details**

DWG. NO. **D-1**

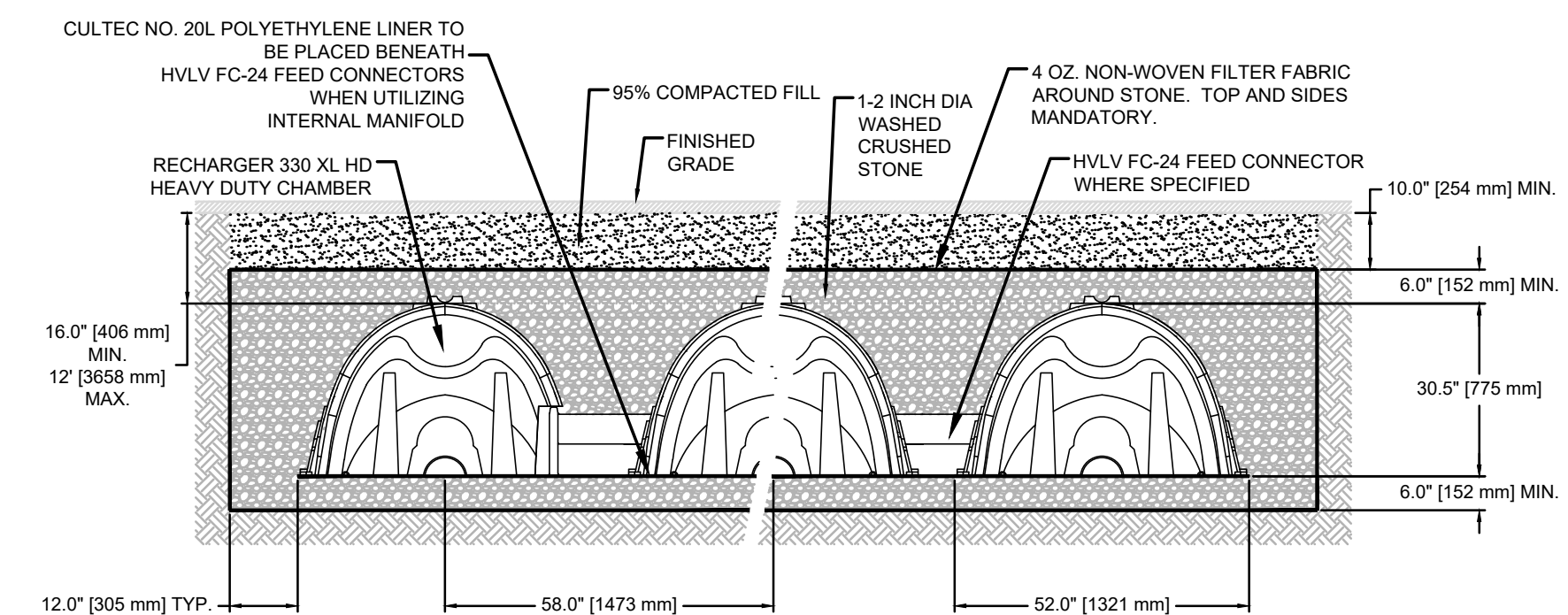
- NOTES:  
 1. INSPECTION PORT MUST BE CONNECTED THROUGH KNOCK-OUT LOCATED AT CENTER OF CHAMBER.  
 2. ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.



**INSPECTION PORT DETAIL**  
NOT TO SCALE

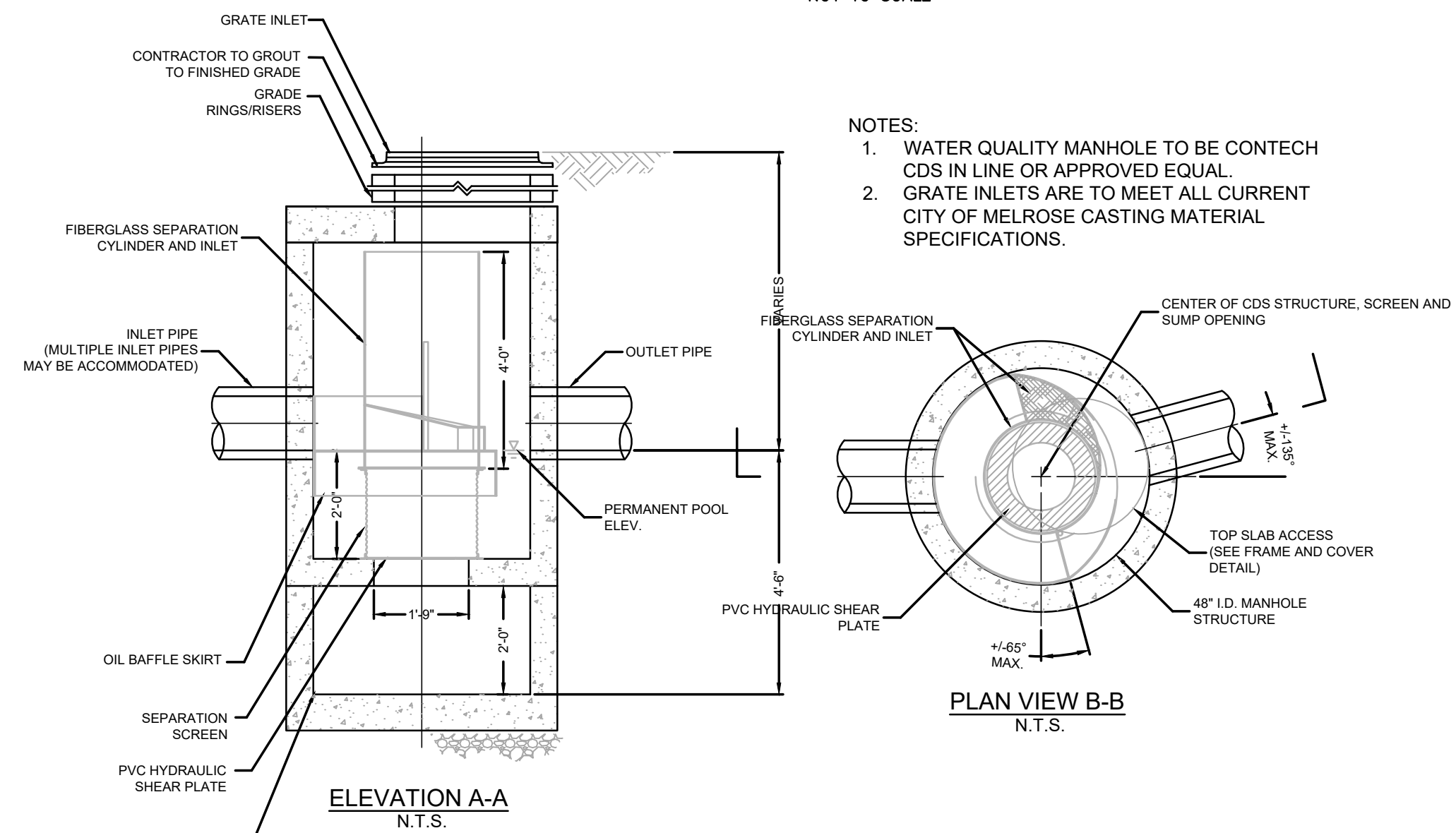


**MAINFOLD DETAIL**  
**SUB-SURFACE DRAINAGE FACILITY DETAIL**  
**CULTEC 330XL HD**  
NOT TO SCALE



- GENERAL NOTES**  
 RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT  
 STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT.  
 REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.  
 USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.
- ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.  
 ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

**TYPICAL CROSS SECTION**  
NOT TO SCALE



- NOTES:  
 1. WATER QUALITY MANHOLE TO BE CONTECH CDS IN LINE OR APPROVED EQUAL.  
 2. GRATE INLETS ARE TO MEET ALL CURRENT CITY OF MELROSE CASTING MATERIAL SPECIFICATIONS.

**WATER QUALITY MANHOLE**  
NOT TO SCALE

PREPARED BY:

PROJECT:

APPLICANT:

**Engineering Alliance, Inc.**  
 Civil Engineering & Land Planning Consultants  
 194 Central Street  
 Salem, MA 01906  
 Portsmouth, NH 03801  
 Tel: (603) 610-7100  
 Fax: (603) 610-7101

**Site Plan**  
 272 Tremont Street  
 (Tax Map C12 Block 0 Lot 9)  
 Melrose, Massachusetts

DATE: August 11, 2020  
 DWG FILE NAME: 19-29908.dwg  
 PROJECT #: 19-29908  
 SCALE: AS NOTED  
 DESIGN BY: Calvin Reach  
 CHECKED BY: Richard A. Salvo, P.E.

Professional Engineer for  
 Engineering Alliance, Inc.

**Eric Kenworthy**  
 49 Marmion Road  
 Melrose, MA 02176

DRAWING TITLE:  
**Construction Details II**

DWG. NO.  
**D-2**

DESCRIPTION OF REVISION

DATE

**PROJECT NAME**  
**Tremont Street Residences**

**PROJECT ADDRESS**  
 272 Tremont Street  
 Melrose, MA

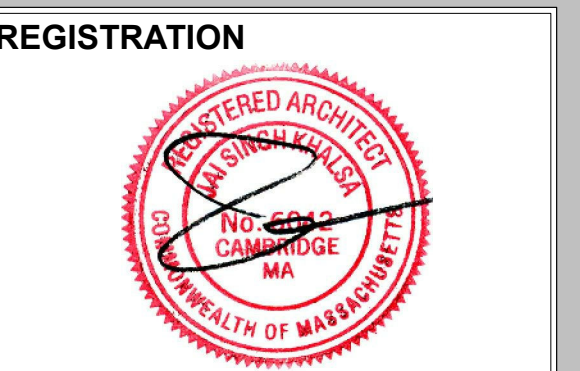
**CLIENT**  
**Eric Kenworthy**



17 IVALOO STREET SUITE 400  
 SOMERVILLE, MA 02143  
 TELEPHONE: 617-591-8682 FAX:  
 617-591-2086

**CONSULTANTS:**

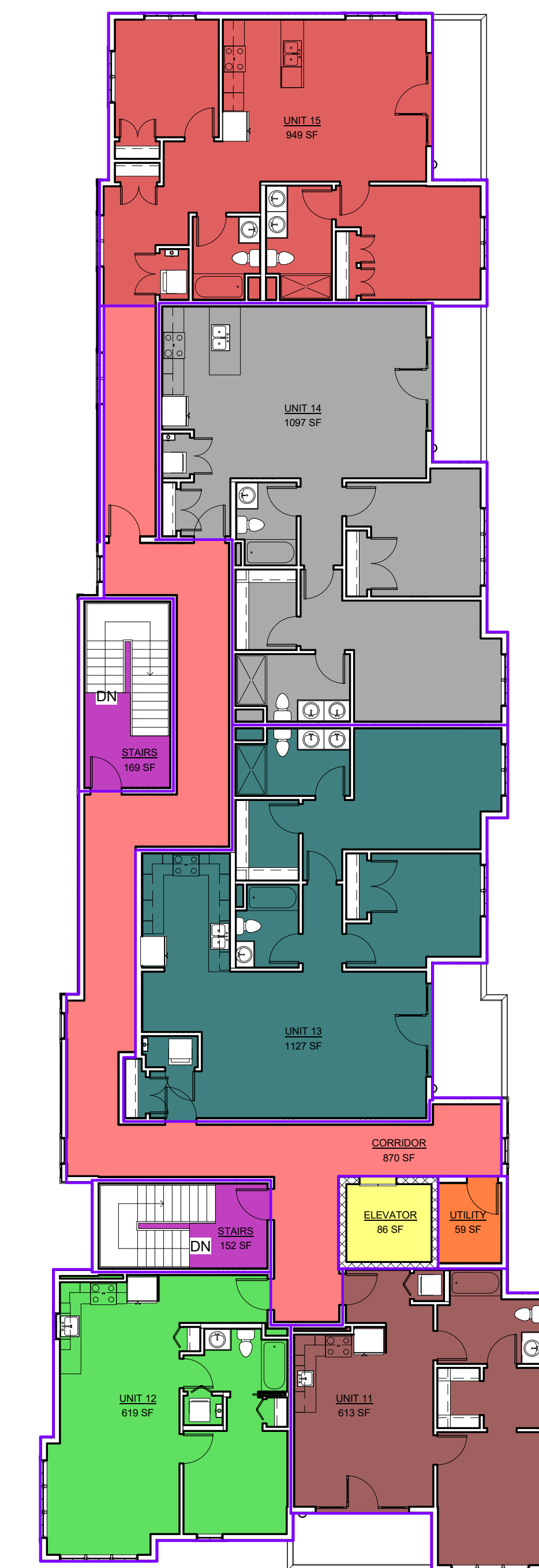
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Project number 18035  
 Date 03/31/2020  
 Drawn by WC  
 Checked by JSK  
 Scale 3/32" = 1'-0"

**REVISIONS**

No.	Description	Date

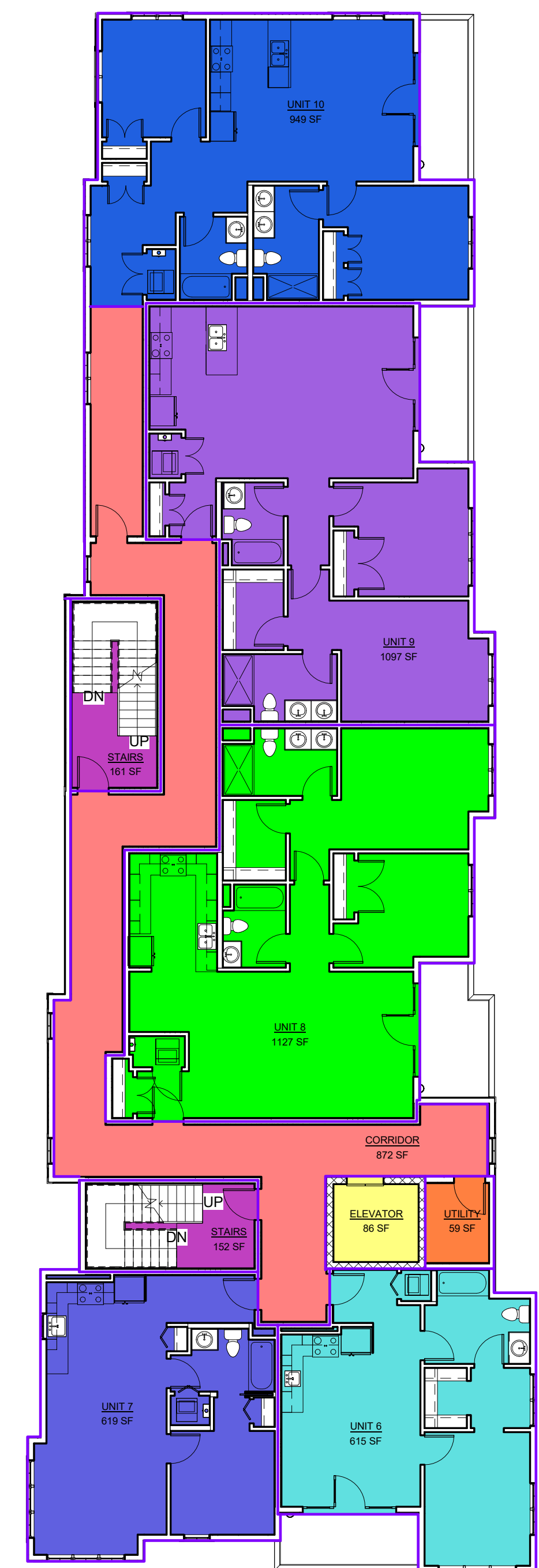


④ 4-Fourth Floor  
 3/32" = 1'-0"

- Rentable Area Legend**
- CORRIDOR
  - ELEVATOR
  - STAIRS
  - UNIT 11
  - UNIT 12
  - UNIT 13
  - UNIT 14
  - UNIT 15
  - UTILITY

**BUILDING SQUARE FOOTAGE BREAKDOWN**

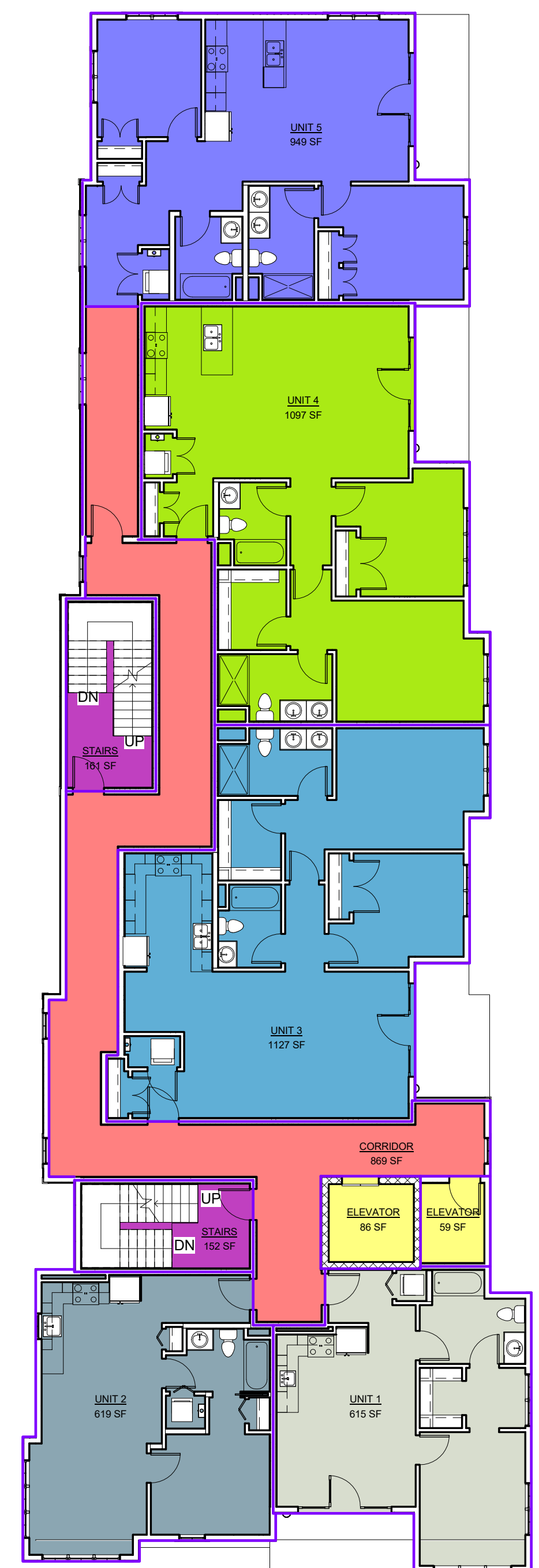
TOTAL LEASABLE SQUARE FOOTAGE = (13,408) SF
TOTAL COMMERCIAL SQUARE FOOTAGE = (663) SF
TOTAL COMMON / STAIR / UTILITY SQUARE FOOTAGE = (4,907) SF
<b>TOTAL BUILDING SQUARE FOOTAGE = (18,978) SF</b>



③ 3-Third Floor  
 3/32" = 1'-0"

- Rentable Area Legend**
- CORRIDOR
  - ELEVATOR
  - STAIRS
  - UNIT 6
  - UNIT 7
  - UNIT 8
  - UNIT 9
  - UNIT 10
  - UTILITY

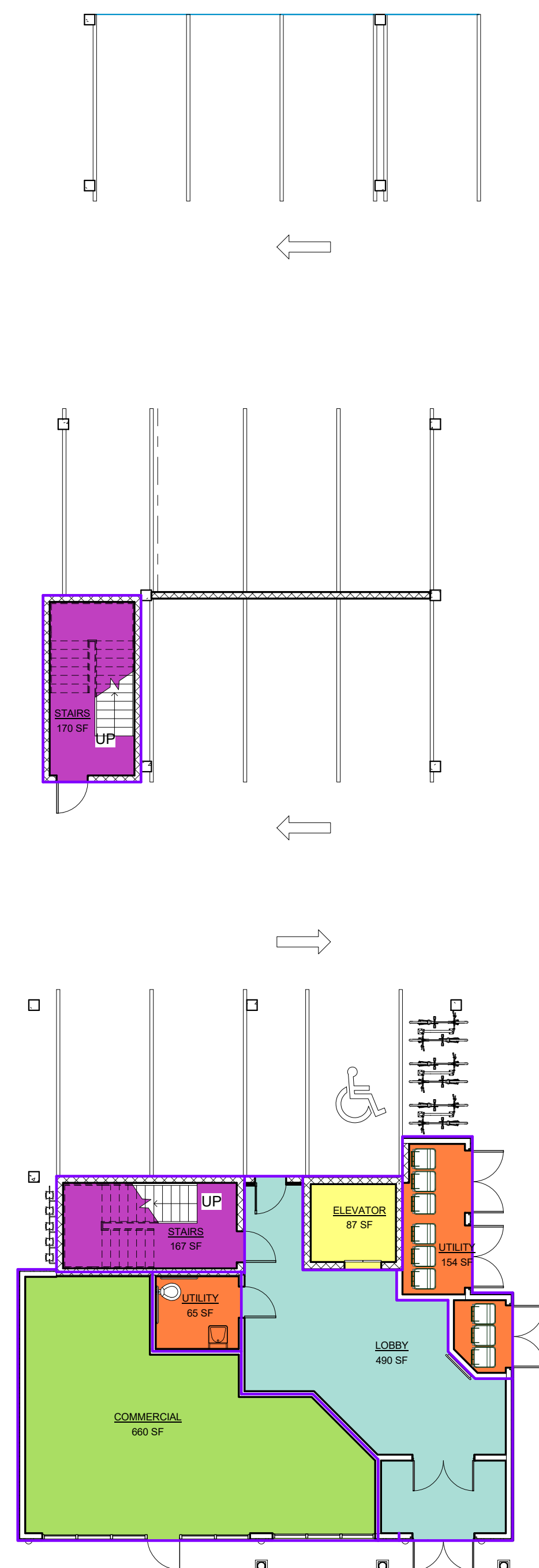
Area Schedule (Rentable)		
Name	Level	Area
UNIT 10	3-Third Floor	949 SF
UTILITY	3-Third Floor	59 SF
CORRIDOR	4-Fourth Floor	870 SF
ELEVATOR	4-Fourth Floor	86 SF
STAIRS	4-Fourth Floor	169 SF
STAIRS	4-Fourth Floor	152 SF
UNIT 11	4-Fourth Floor	613 SF
UNIT 12	4-Fourth Floor	619 SF
UNIT 13	4-Fourth Floor	1127 SF



② 2-Second Floor  
 3/32" = 1'-0"

- Rentable Area Legend**
- CORRIDOR
  - ELEVATOR
  - STAIRS
  - UNIT 1
  - UNIT 2
  - UNIT 3
  - UNIT 4
  - UNIT 5

Area Schedule (Rentable)		
Name	Level	Area
CORRIDOR	2-Second Floor	869 SF
ELEVATOR	2-Second Floor	86 SF
ELEVATOR	2-Second Floor	59 SF
STAIRS	2-Second Floor	161 SF
STAIRS	2-Second Floor	152 SF
UNIT 1	2-Second Floor	615 SF
UNIT 2	2-Second Floor	619 SF
UNIT 3	2-Second Floor	1127 SF
UNIT 4	2-Second Floor	1097 SF



① 1-First Floor  
 3/32" = 1'-0"

- Rentable Area Legend**
- COMMERCIAL
  - ELEVATOR
  - LOBBY
  - STAIRS
  - UTILITY

Area Schedule (Rentable)		
Name	Level	Area
LEASING	Not Placed	Not Placed
COMMERCIAL	1- First Floor	660 SF
ELEVATOR	1- First Floor	87 SF
LOBBY	1- First Floor	490 SF
STAIRS	1- First Floor	170 SF
STAIRS	1- First Floor	167 SF
UTILITY	1- First Floor	154 SF
UTILITY	1- First Floor	65 SF

\\TKG-SERVER\DRG\18\18035\_Kenworthy - Tremont St\_Melrose\03 Drawings\00\_ARCH\_SD\_DDKenworthy Tremont St\OPTION 2 - 1-2-20.plt 8/20/2020 3:20:24 PM



PROJECT NAME

# Tremont Street Residences

PROJECT ADDRESS

272 Tremont Street  
Melrose, MA

CLIENT

Eric Kenworthy

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX:  
617-591-2086

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REGISTRATION



Project number 18035  
Date 03/31/2020  
Drawn by WC  
Checked by JSK  
Scale 1/8" = 1'-0"

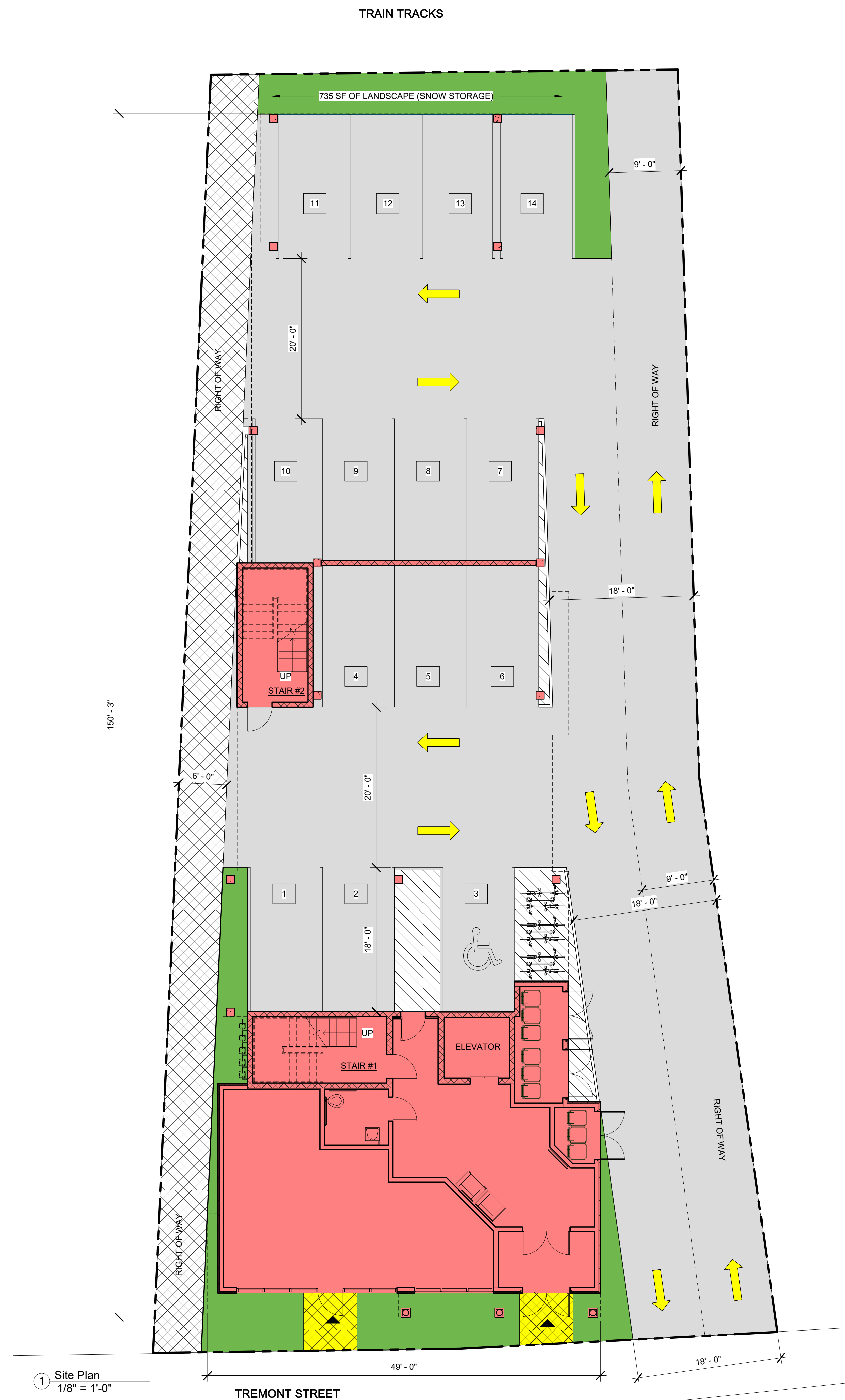
REVISIONS

No.	Description	Date

## Architectural Site Plan & 1st Floor Plan

# A-020

Tremont Street Residences



**BUILDING STATISTICS:**

TOTAL SQUARE FOOTAGE OF BUILDING = 18,930 SF

15 UNITS IN TOTAL

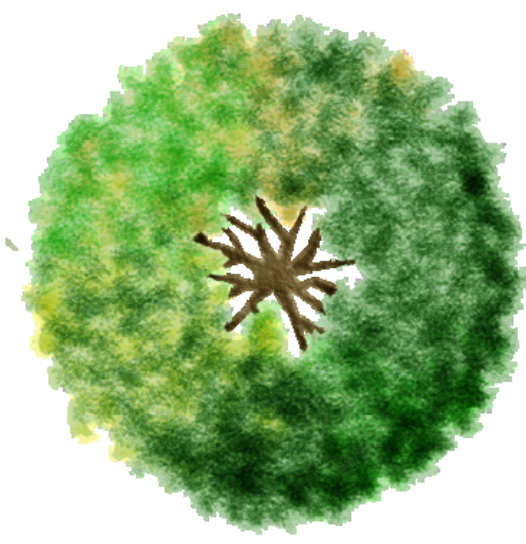
(9) 2 BEDROOM UNITS / (6) 1 BEDROOM UNITS

(12) FULL SIZE PARKING SPOTS FOR RESIDENCES (2) PARKING SPOTS FOR RETAIL

4 STORIES TALL - 43'-6" HIGH

BUILDING DIMENSIONS: 49'-9" x 150'-3"

1 Site Plan  
1/8" = 1'-0"



(3) ARMSTRONG MAPLE  
(2.5-3" CALIPER)

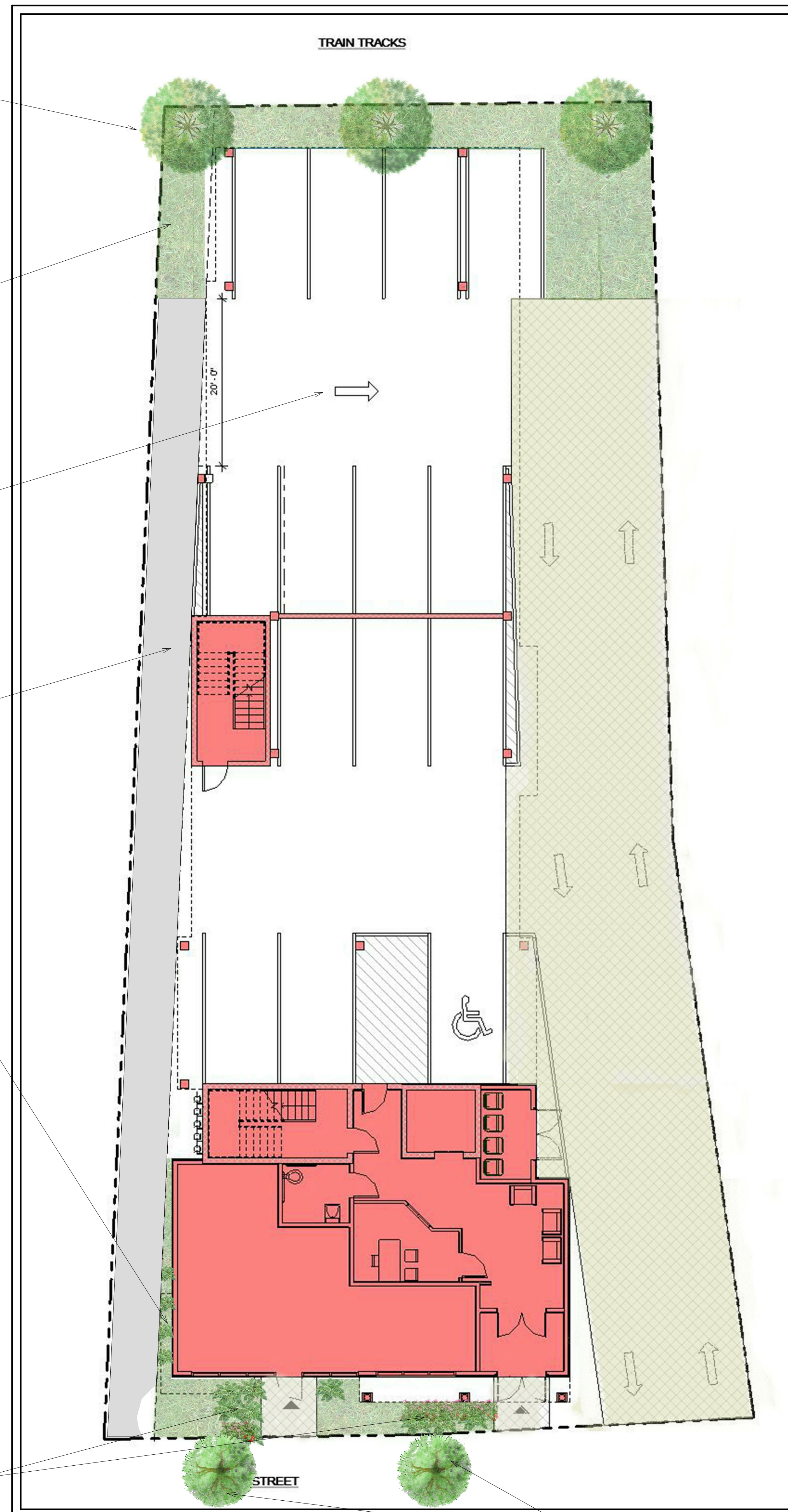
(60)VARIGATED HOSTA 1-  
GALLON

ASPHALT PAVING  
UNDERNEATH BUILDING

EXISTING DRIVEWAY  
EASEMENT

(50) HOSTA 1-GALLON  
UNDERSTORY PLANTING

SEASONAL PLANTINGS ALONG  
TREMONT STREET.  
(FALL/ SPRING - DAFFODILS)  
(SUMMER - MIXED IMPATIENTS)



NEW STREET TREES

PROJECT NAME

**Tremont Street  
Residences**

PROJECT ADDRESS

272 Tremont Street  
Melrose, MA

CLIENT

**Eric Kenworthy**

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX:  
617-591-2086

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Date 03/31/2020  
Drawn by Author  
Checked by Checker  
Scale 12" = 1'-0"

REVISIONS

No.	Description	Date
1	City Requested Changes	08/20/20

Landscape Plan

**L-1**

Tremont Street Residences

**PROJECT NAME**  
**Tremont Street Residences**

**PROJECT ADDRESS**  
 272 Tremont Street  
 Melrose, MA

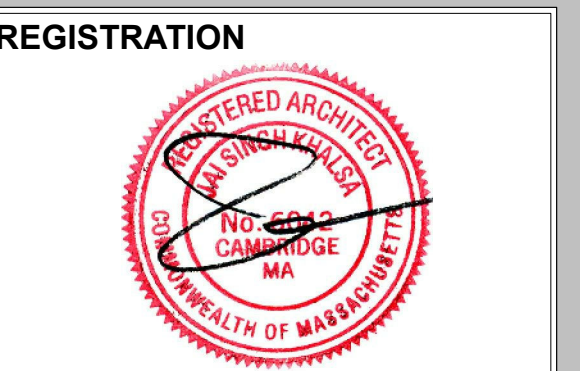
**CLIENT**  
**Eric Kenworthy**



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 TELEPHONE: 617-591-8682 FAX:  
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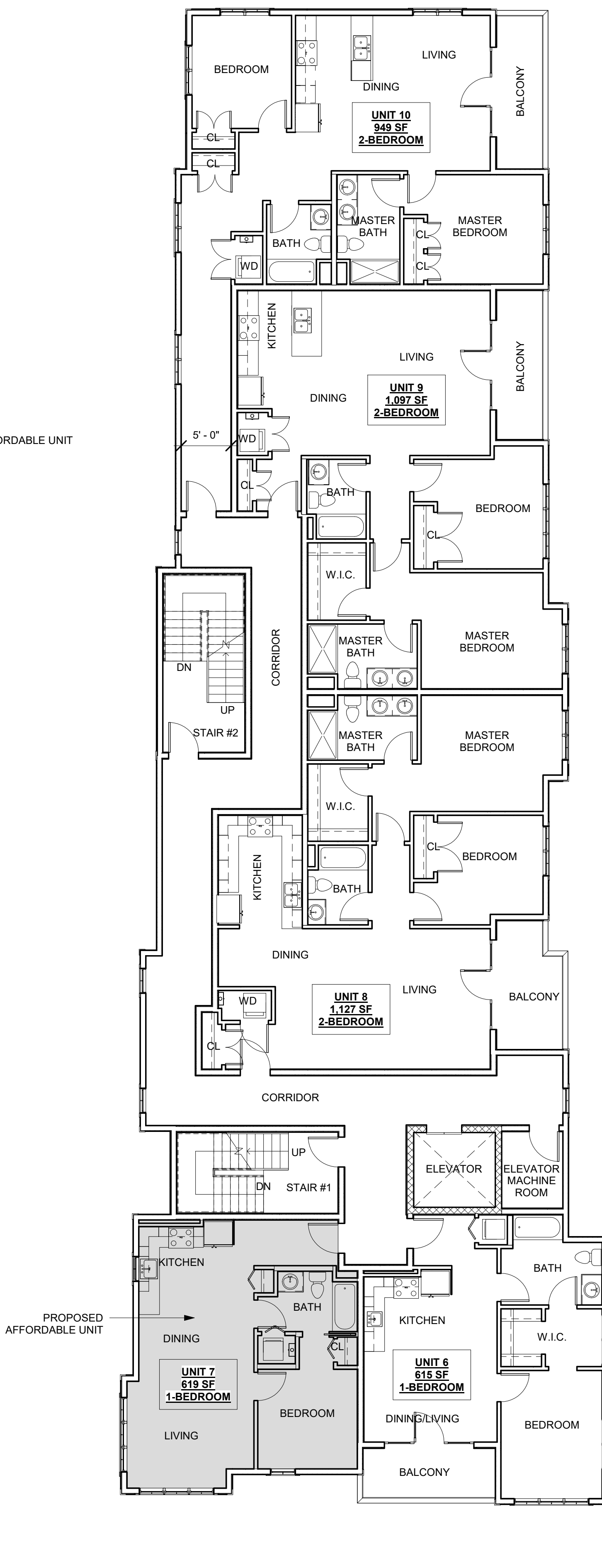
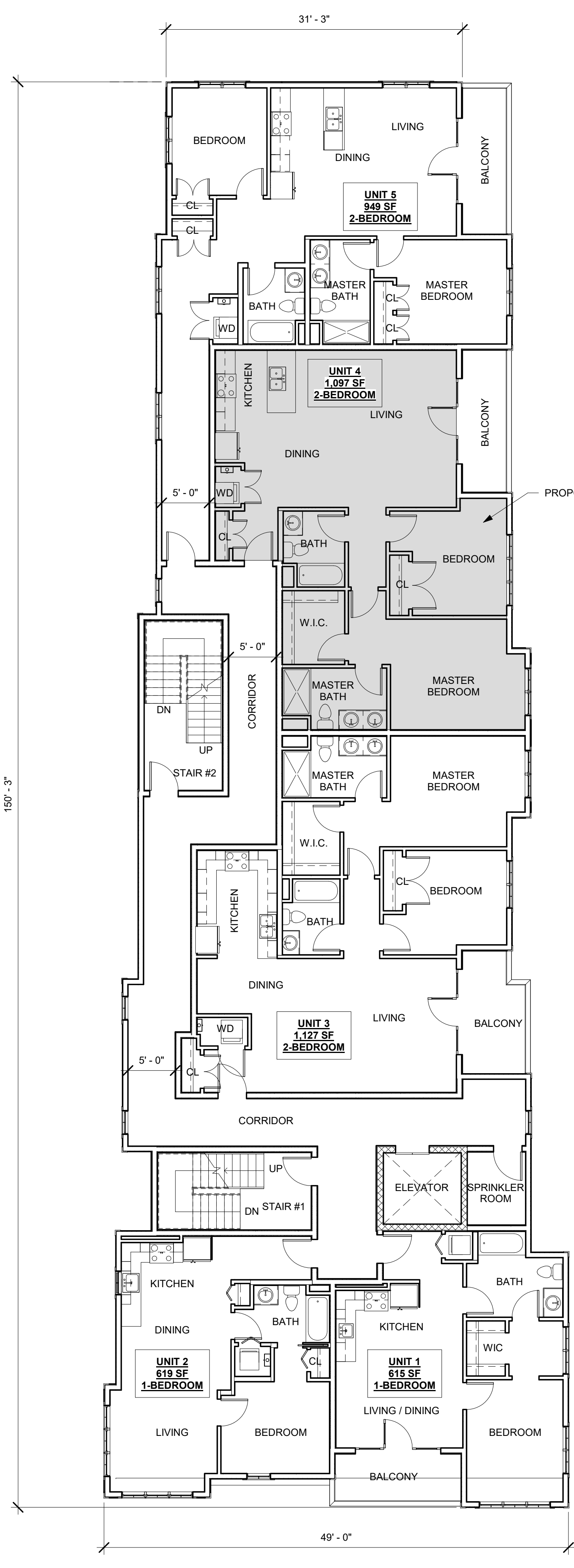
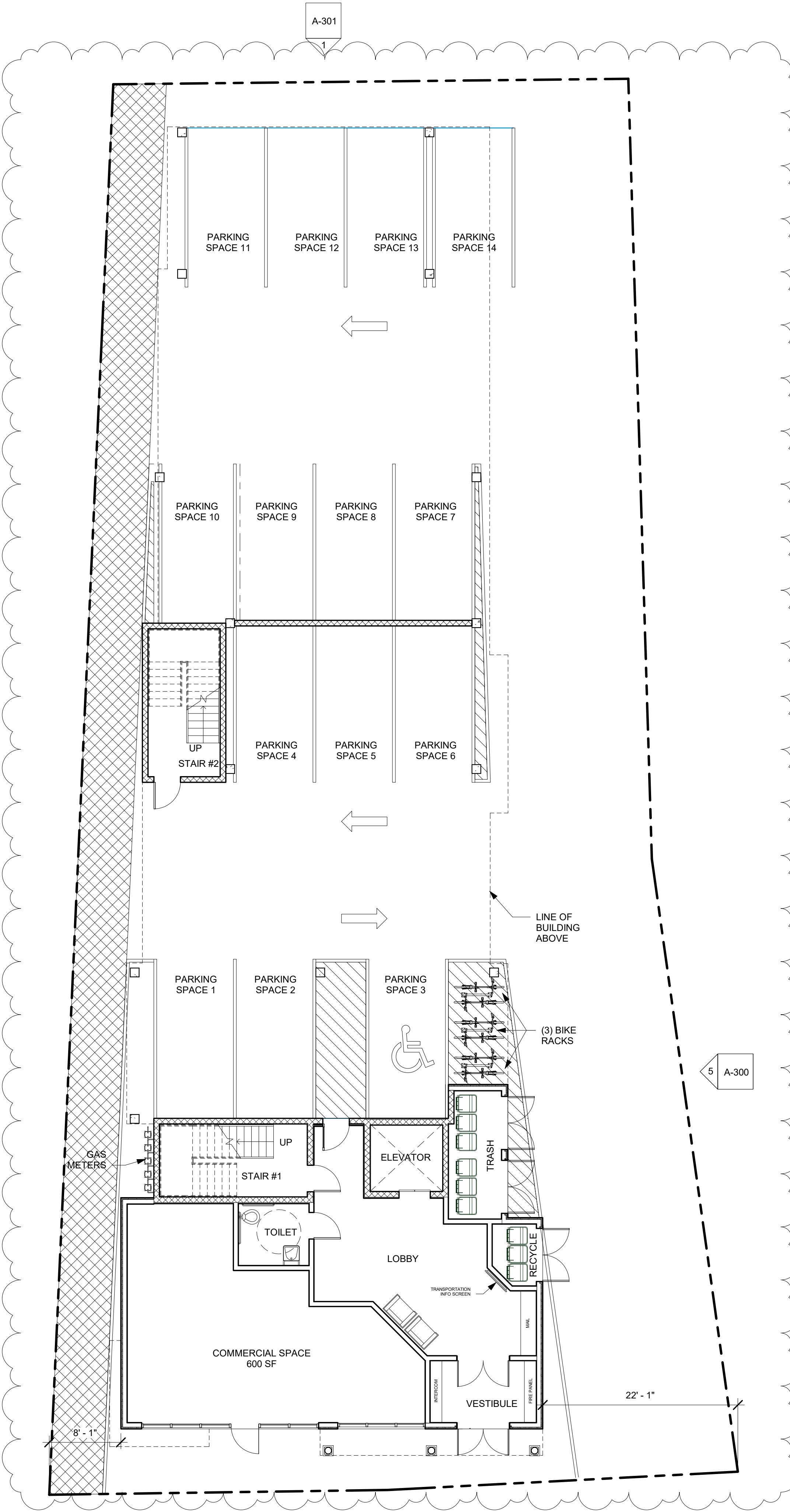
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Date	03/31/2020
Drawn by	WC
Checked by	JSK
Scale	1/8" = 1'-0"

**REVISIONS**

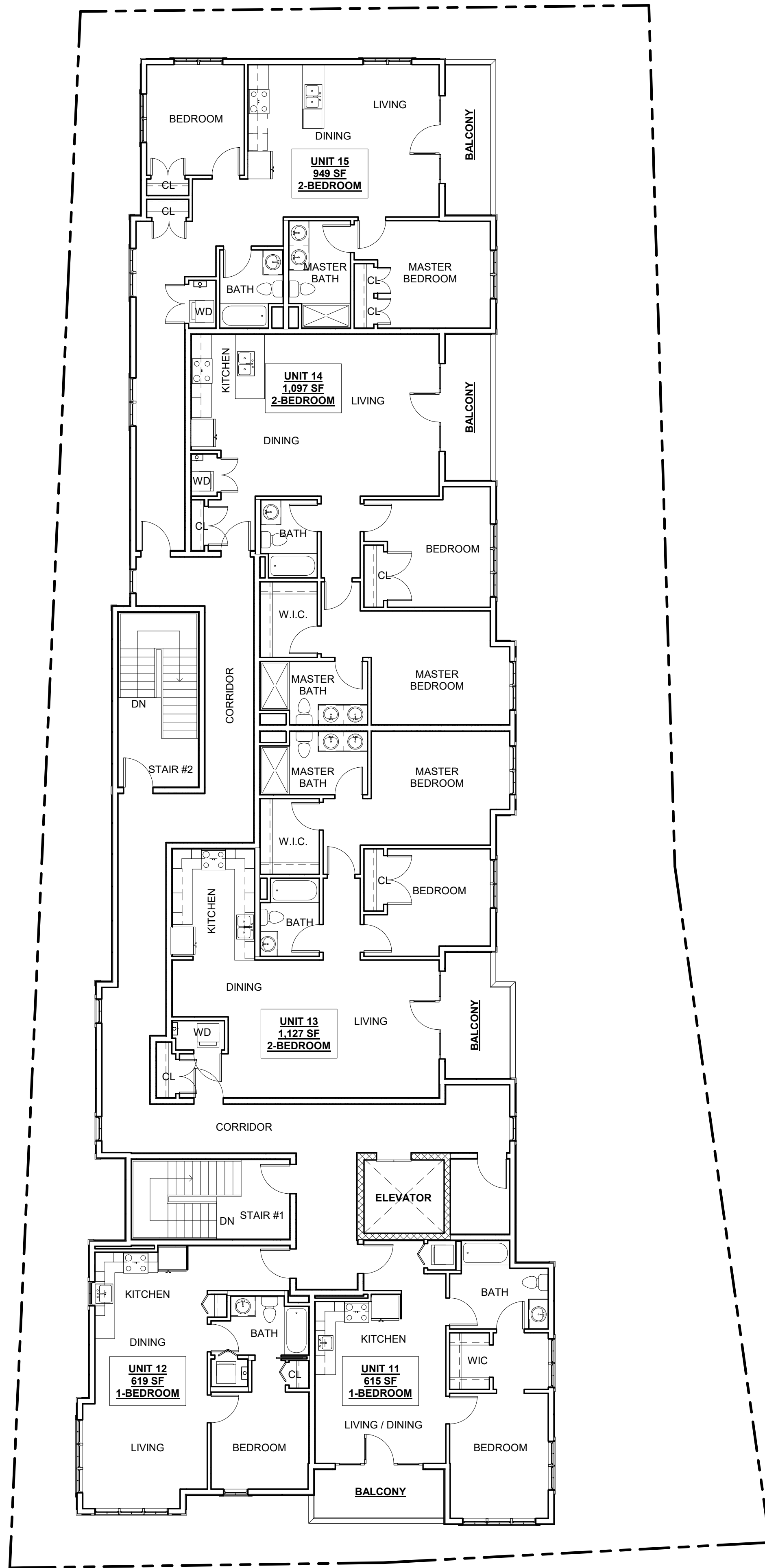
No.	Description	Date
1	City Requested Changes	08/20/20

**1st, 2nd & 3rd Floor Plans**

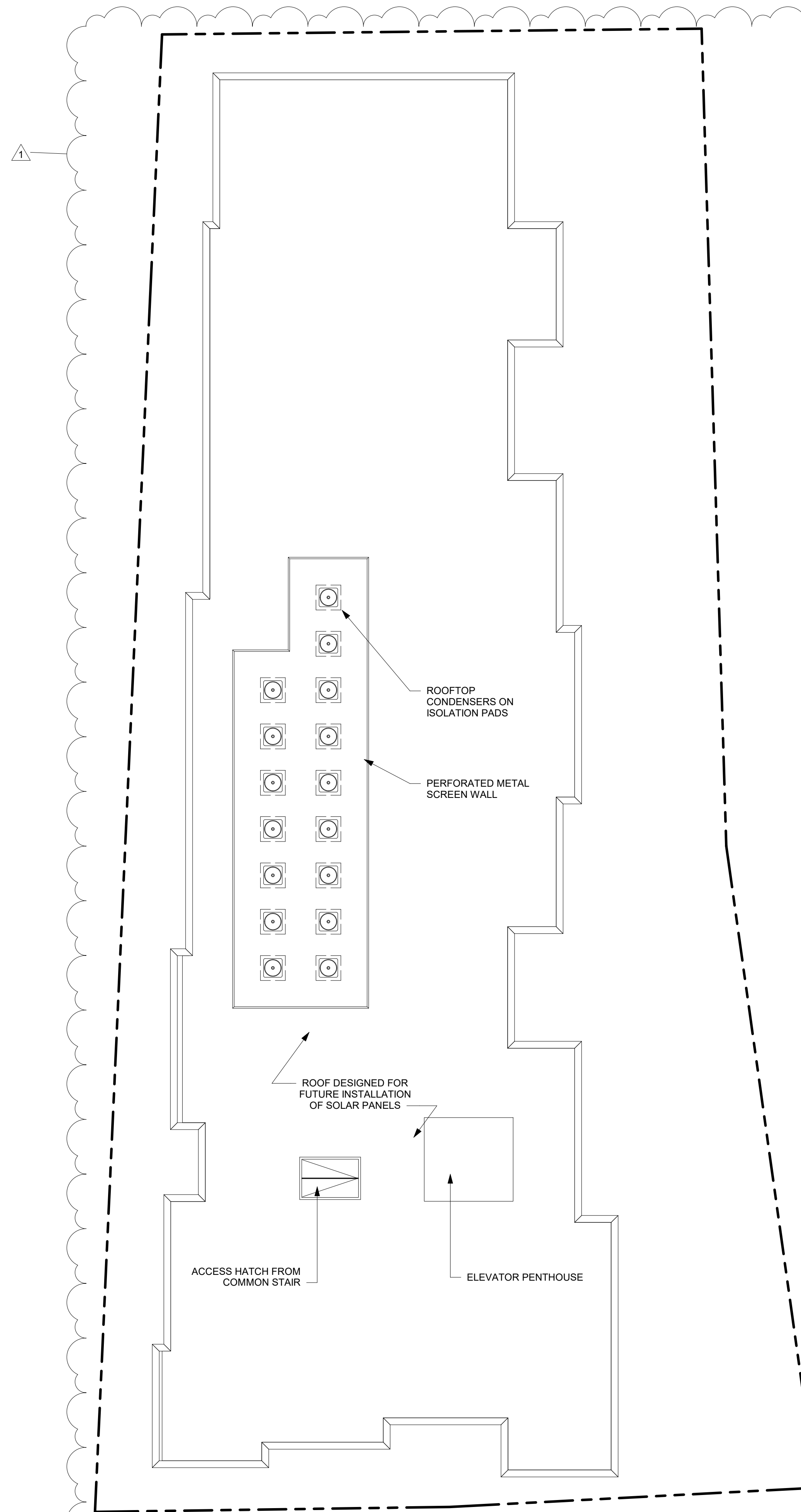
**A-101**  
 Tremont Street Residences



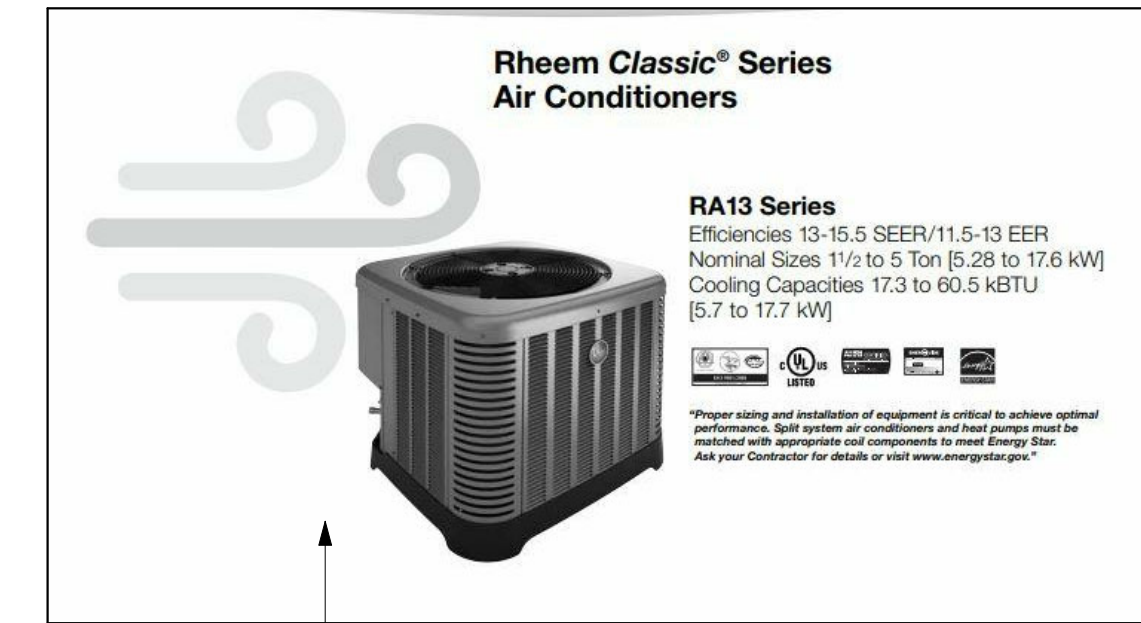
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① 4-Fourth Floor  
1/8" = 1'-0"



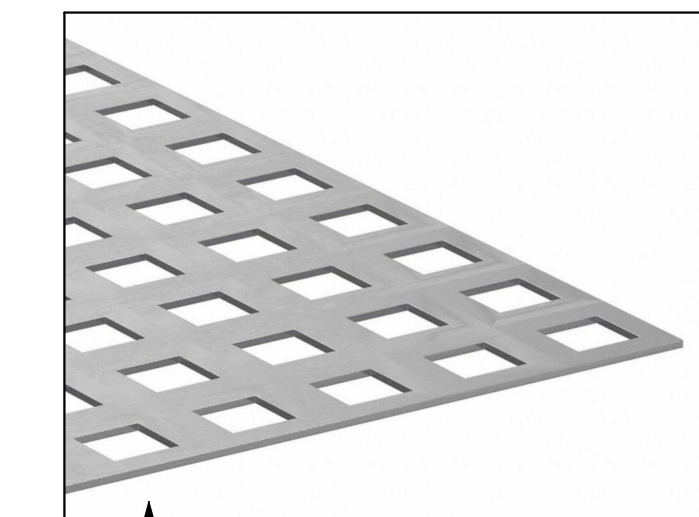
② Roof  
1/8" = 1'-0"



RHEEM RA 13 SERIES CONDENSER  
70db LEVEL AT UNIT (WORST CASE)  
BY USING SCREENING AND ISOLATORS db LEVEL  
WILL BE WELL WITHIN TOWN NOISE ORDINANCES  
ON 40db BY THE TIME IT REACHES ABUTTERS.



KINETICS (LDR) LIGHT DUTY RAIL ISOLATION SYSTEM FOR CONDENSERS



GRAINGER PERFORATED STEEL SCREEN WALL PANELS GALVANIZED

PROJECT NAME  
**Tremont Street Residences**

PROJECT ADDRESS  
272 Tremont Street  
Melrose, MA

CLIENT  
**Eric Kenworthy**

ARCHITECT  
**DESIGN**  
**KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX:  
617-591-2086

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Project number 18035  
Date 03/31/2020  
Drawn by WC  
Checked by JSK  
Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date
1	City Requested Changes	08/20/20

4th Floor & Roof  
Plans

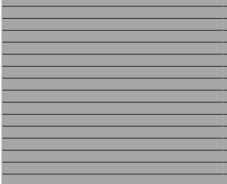


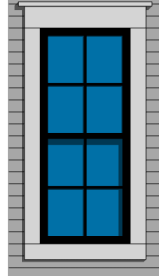
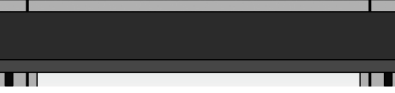
**A-102**

Tremont Street Residences



① Tremont Street Elevation  
3/16" = 1'-0"

**EXTERIOR ELEVATION MATERIALS**

-  4" EXPOSURE HARDI CLAPBOARDS
-  HARDI PANEL W/ REGLETS (ARCTIC WHITE)
-  BAUHAUS THIN BRICK AT STREET LEVEL
-  VINYL DOUBLE HUNG WINDOWS (BLACK)
-  STANDING SEAM ROOF



② Side Elevation  
3/16" = 1'-0"

PROJECT NAME  
**Tremont Street Residences**

PROJECT ADDRESS  
272 Tremont Street  
Melrose, MA

CLIENT  
**Eric Kenworthy**

ARCHITECT  
**DESIGN**  
  
**KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX:  
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**REGISTRATION**



Project number 18035  
Date 03/31/2020  
Drawn by Author  
Checked by Checker  
Scale 3/16" = 1'-0"

**REVISIONS**

No.	Description	Date
1	City Requested Changes	08/20/20

Elevations

**A-300**

Tremont Street Residences



① Train Track Elevation  
3/16" = 1'-0"



② Side Elevation 2  
3/16" = 1'-0"

PROJECT NAME  
**Tremont Street Residences**

PROJECT ADDRESS  
272 Tremont Street  
Melrose, MA

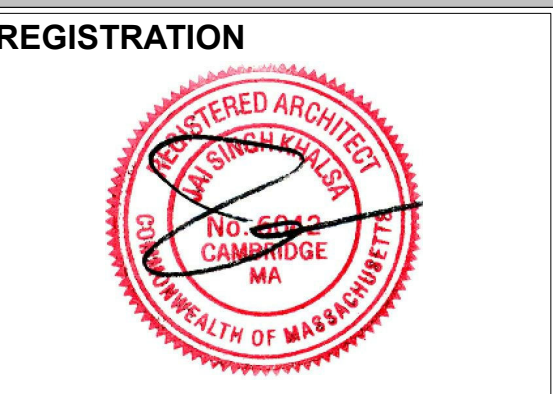
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**Eric Kenworthy**



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Scale 3/16" = 1'-0"

REVISIONS

No.	Description	Date
1	City Requested Changes	08/20/20

Elevations  
**A-301**  
Tremont Street Residences



The Skyscraper Outdoor LED Wall Sconce is available with the following:

- Details:**
- UV stabilized acrylic diffuser
  - Dimmable with an ELV dimmer (not included)
  - Material: Bronze; Aluminum; Stainless Steel; 316 Marine Grade Stainless Steel
  - Shade Material: F1-Rated Acrylic
  - ADA compliant, Title 24 compliant
  - ETL Listed Wet
  - Marine Grade
  - Warranty: 5 Years Functional, 2 Years Finish
  - Made In China

- Options:**
- **Finish:** Bronze, Stainless Steel, Black
  - **Size:** 12-inch, 18-inch

- Lighting:**
- 12-inch Option: 12 Watt (418 Lumens) 120 Volt Integrated LED; CRI: 90 Color Temp: 3000K Lifespan: 80000 hours
  - 18-inch Option: 19 Watt (741 Lumens) 120 Volt Integrated LED; CRI: 90 Color Temp: 3000K Lifespan: 80000 hours

**Compare Brightness:**



- Dimensions:**
- 12-inch Option Fixture: Width 6", Height 12", Depth 3.25", Weight 3.8Lbs
  - 18-inch Option Fixture: Width 7", Height 18", Depth 3.25", Weight 5.6Lbs

**Manufacturer IDs: view**

California Residents: Prop 65 regulations



The **Cylinders** are ideal for a wide variety of interior and exterior applications including residential and commercial. The Cylinders feature a 120V alternating current source and eliminates the need for a traditional LED driver. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits. Specify P8798-31 top cover lens for use in wet locations.

- Features:**
- Durable and lightweight aluminum material with powder coat finish
  - High-output LED is similar to (2) 120 watt incandescent bulbs!
  - Meets California Title 24 high efficacy requirements for outdoor use only
  - Dimmable to 10% with many ELV dimmers
  - Rated for installation in damp or dry locations
  - For wet locations, purchase the accessory top cover lens (offered upon adding this item to your cart)

**Dimensions:**

- Height: 18"
- Width: 6"
- Extension: 8.875"

**Specifications:**

- Bulb Type: Integrated LED
- Number of Light Engines: 2
- Total Lumen Output: 2562
- 1,262 Lumens Downlight
- 1,300 Lumens Uplight
- Color Temperature: 3000K
- Color Rendering Index (CRI): 90
- Wattage: 58 (29 watts per module)



<b>Manufacturer</b>	MaxLite
<b>SKU</b>	LSU4806SU20DV50
<b>Free Shipping Single</b>	Free Ground Shipping!
<b>Lead Time</b>	Ships in: 1-3 Business Days
<b>Return Policy</b>	30-Day Money Back Guarantee.
<b>Technology</b>	LED
<b>Regulations</b>	Assembled in the USA, CA Title-24, cUL Listed, Damp Location, DLC Listed, FCC, LM-79 Tested, LM80 Tested, RoHS Compliant
<b>Warranty</b>	5 Year Limited Manufacturer
<b>Available Voltage</b>	120V - 277V
<b>Dimming</b>	0-10V 10% Dimming
<b>Width</b>	6.75 inches
<b>Length</b>	48.75 inches
<b>Lumen Output Minimum</b>	2170
<b>Lumen Output Max</b>	2193
<b>Wattage</b>	20 Watts



**Wolfers Lighting**  
103 North Beacon Street  
Allston, MA 02134  
Website: www.wolfers.com

Phone: 617-254-0700  
Fax: 617-746-5544  
Email: internet@wolfers.com



Wolfers Lighting



**Adjustable Piedmont Swivel Flood Light**

Item ID: **246149**  
 Manufacturer: **Seagull**  
 MFG #: **8607-12**  
 Finish: **Black**  
 Height: **23.75"**  
 Width/Dia.: **5.75"**  
 Length: **14"**

Our flood lights are designed with safety as a top priority. Choose from open glass PAR38s or directional BR40s, both with swivel design to direct illumination where you need it.

Bulbs	Type	Base	Source	Watt	CCT	CRI	Lm	Avg. Life	Dim	Incl.
2	BR40	Medium	120w		120					

<b>Features</b>	<b>UL, cUL</b>	<b>Additional Information</b>	<b>Black Aluminum</b>
<b>Safety Rating:</b>	<b>Wet</b>	<b>Glass:</b>	<b>6.5"</b>
<b>Safety Listing:</b>	<b>Wet</b>	<b>Chain:</b>	<b>6.5"</b>
		<b>Wire:</b>	<b>6.5"</b>

Please be advised that all prices and information shown here are subject to verification by our showroom personnel. In the event of a discrepancy, we reserve the right to make any corrections necessary.

**PROJECT NAME**

**Tremont Street Residences**

**PROJECT ADDRESS**

272 Tremont Street  
Melrose, MA

**CLIENT**

**Eric Kenworthy**

**ARCHITECT**



17 IVALOO STREET SUITE 400  
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Project number	18035
Date	03/31/2020
Drawn by	Author
Checked by	Checker
Scale	12" = 1'-0"

**REVISIONS**

No.	Description	Date

**Exterior Lights**

**A-302**  
Tremont Street Residences

PROJECT NAME

**Tremont Street Residences**

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REVISIONS

No.	Description	Date

Sign Elevations

**A-303**

Tremont Street Residences

COMMERCIAL SIGN  
10" TALL x 14'-7 1/2" LONG x 3" DEEP  
(APPROX. 15 SF IN SIZE)

ADDRESS SIGN  
3'-6" TALL x 9" WIDE x 3" DEEP  
(APPROX. 2.7 SF IN SIZE)

2-Second Floor  
12'-0"

1-First Floor  
0'-0"

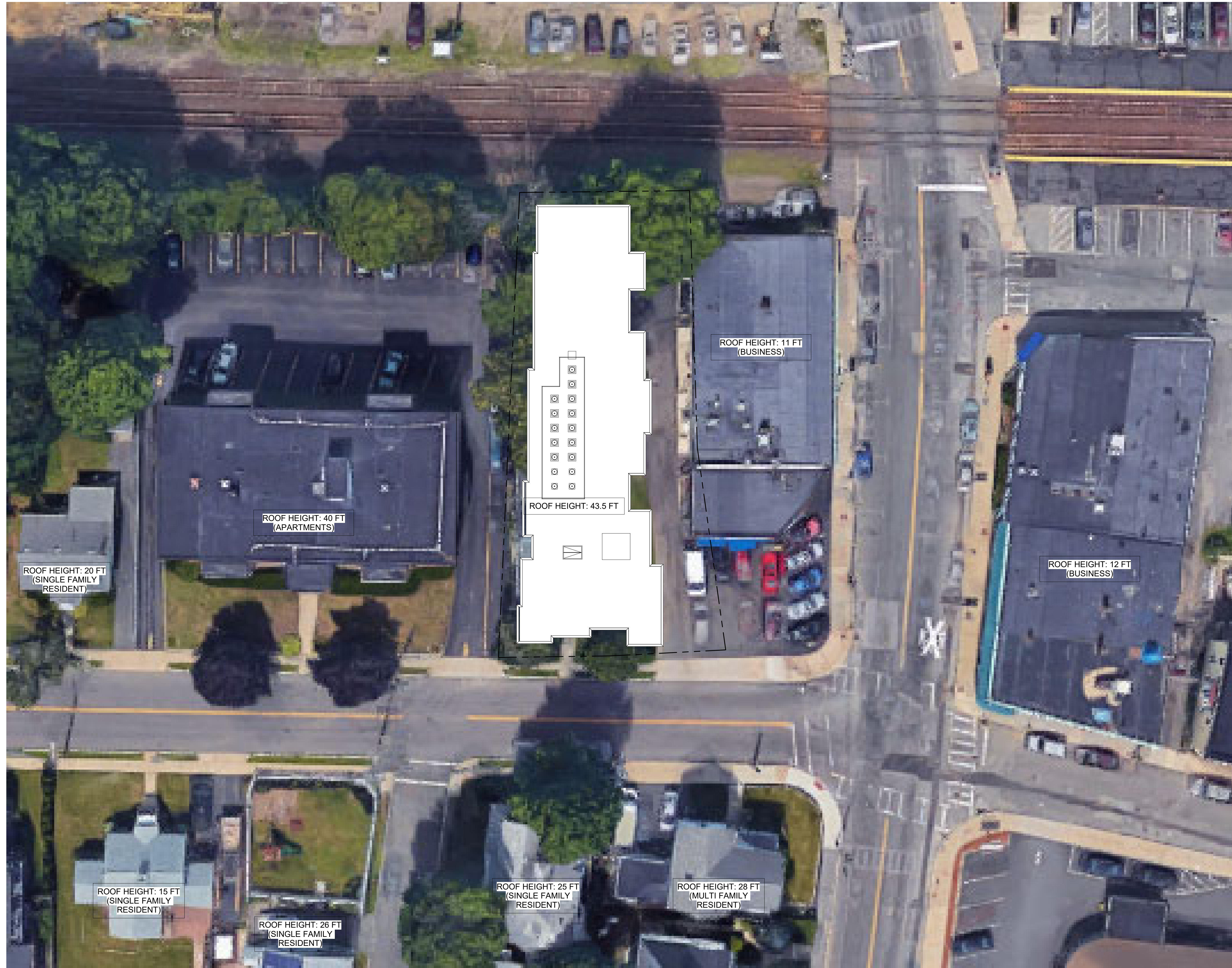
① Sign Elevation  
3/8" = 1'-0"

**NOTE:**

EXTERIOR SIGNAGE DESIGNED PER CITY OF MELROSE ZONING CODE ARTICLE VII. SIGNS (SECTION 235-31.1) SIGNS PERMITTED IN ANY BUSINESS OR INDUSTRIAL DISTRICT

ONE WALL SIGN FOR EACH LOT STREET FRONTAGE OF EACH BUSINESS OR INDUSTRIAL ESTABLISHMENT, PROVIDED THAT IT SHALL BE ATTACHED AND PARALLEL TO THE MAIN WALL OF A BUILDING AND SHALL FACE SUCH LOT STREET FRONTAGE; IT SHALL NOT PROJECT HORIZONTALLY MORE THAN 15" THERE FROM; THE SURFACE AREA OF THE SIGN SHALL NOT AGGREGATE MORE THAN 10% OF THE AREA OF THE WALL ON WHICH IT IS DISPLAYED OR 50 SQUARE FEET, WHICHEVER IS LESSER.





① Building Height Plan  
1/16" = 1'-0"

PROJECT NAME

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Scale	1/16" = 1'-0"

REVISIONS

No.	Description	Date

**Building Height Diagram**

**A-400**

Tremont Street Residences



1 Street View 1



2 Street View 2



4 Neighboring Apartment Building Rear View



3 Train Track View



5 Ground Level View

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 Checked by JSK  
 Scale

**REVISIONS**

No.	Description	Date
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**3-D Perspectives**

**AV-1**  
 Tremont Street Residences



**PROPOSED STREET VIEW RENDERING**

**PROJECT NAME**

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**CLIENT**

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**ARCHITECT**



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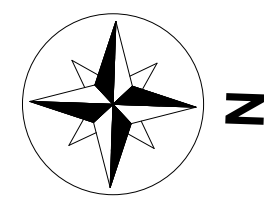
**REVISIONS**

No.	Description	Date
1	City Requested Changes	08/20/20

**RENDERING**

**AV-2**

Tremont Street Residences

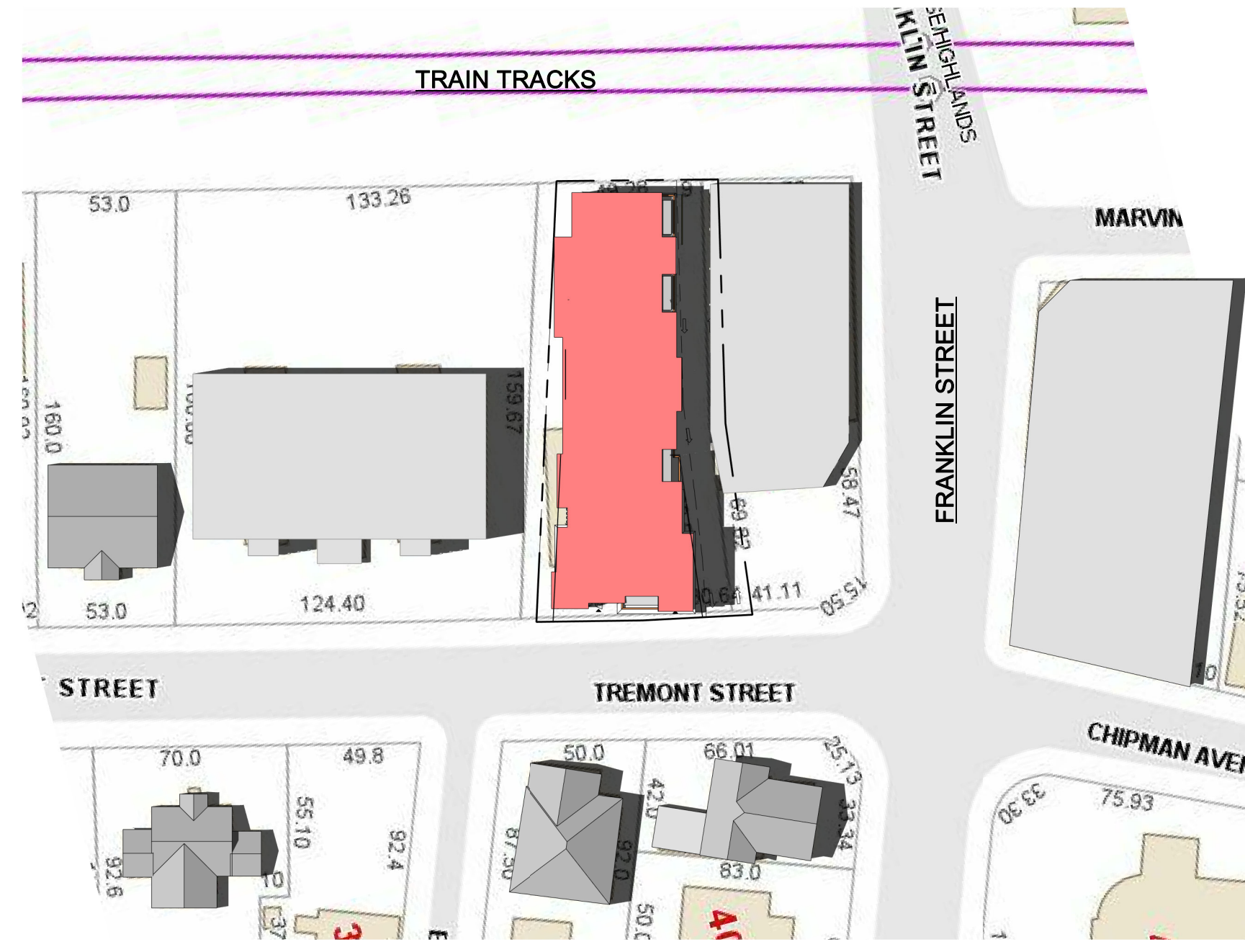


# MORNING (9 AM - 10 AM)

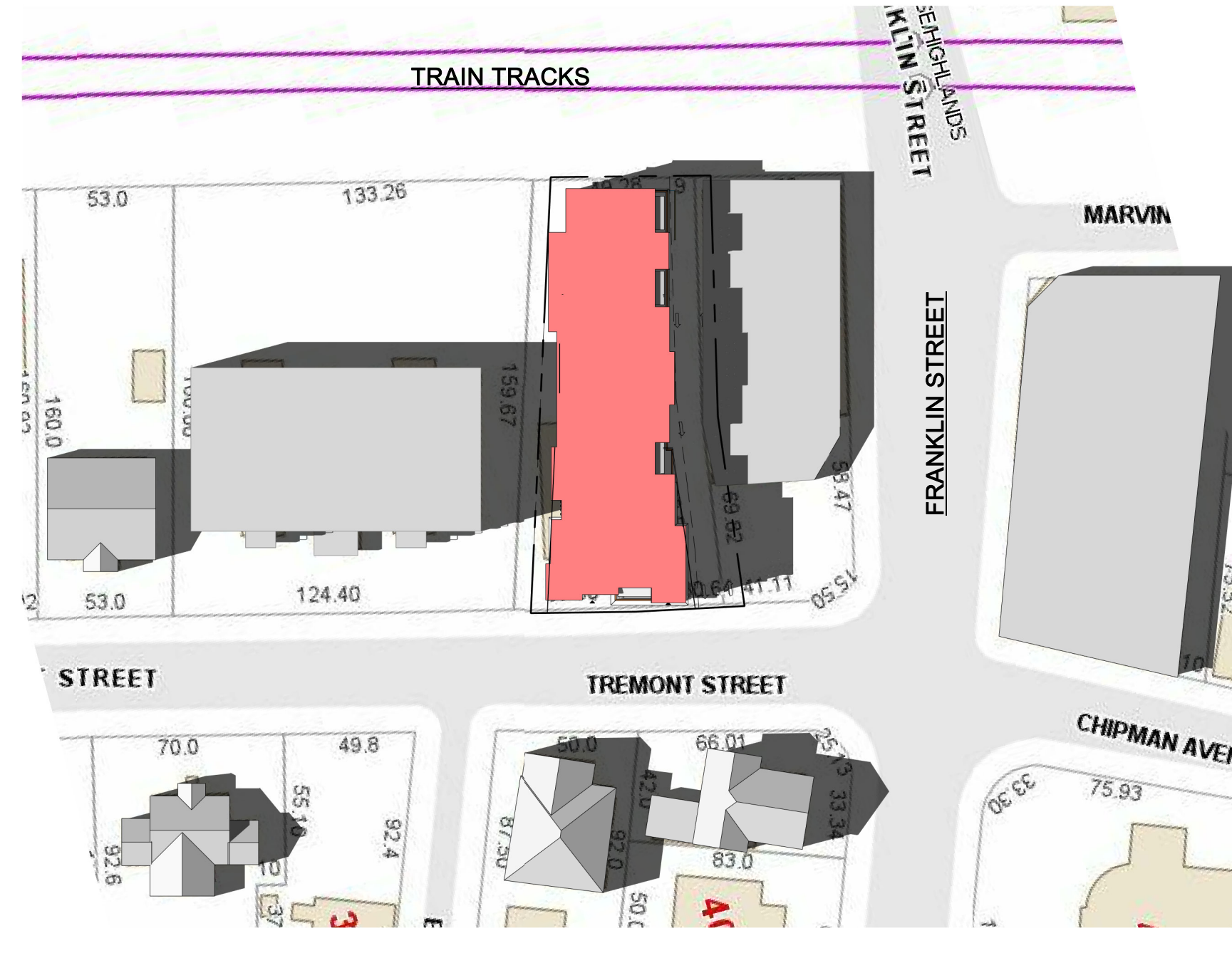
# NOON (12 PM - 1 PM)

# AFTERNOON (3PM - 4 PM)

## SUMMER SOLSTICE



## FALL / SPRING EQUINOX




## WINTER SOLSTICE



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Melrose, MA

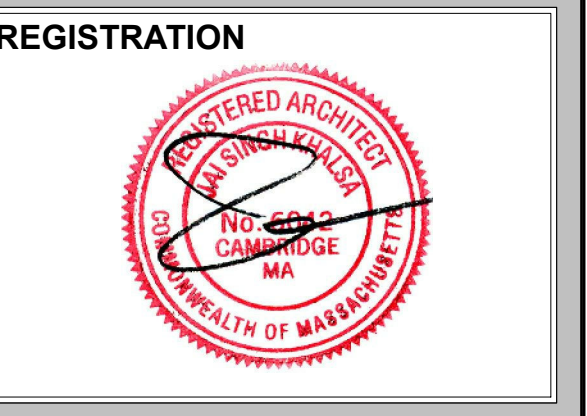
**CLIENT**  
Eric Kenworthy

**ARCHITECT**  
  
KHALSA

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Scale 1" = 50'-0"

**REVISIONS**

No.	Description	Date

Shadow Study

**AV-3**  
Tremont Street Residences