

LOCUS MAP:



PROJECT TEAM:

OWNER/DEVELOPER:
Oak Grove Mill. LLC

ARCHITECT:
ICON ARCHITECTURE
101 Summer Street, Boston, MA 02110
617.451.3333

STRUCTURAL ENGINEER:
SOUZA TRUE & PARTNERS
265 Winter Street, Third Floor, Waltham MA 02451

CIVIL ENGINEER:
ALLEN & MAJOR ASSOCIATES, INC.
100 Commerce Way, Suite 5, Woburn MA 01801

MECHANICAL, PLUMBING, ELECTRICAL & FIRE PROTECTION ENGINEER:
R.W. SULLIVAN ENGINEERING
529 Main Street, Suite 203, Boston MA 02129

CONSULTANT TITLE:
COPLEY WOLFF DESIGN GROUP
10 Post Office Square, Suite 1315, Boston MA 02109



OAK GROVE MILL

99 Washington Street, Melrose MA

ISSUE DATE: 12/10/2019
Site Plan Review Submission

OAK GROVE MILL

99 Washington Street, Melrose MA

OAK GROVE MILL, LLC

ARCHITECT



101 SUMMER ST BOSTON MA 02110

CONSULTANT

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KEY PLAN

MARK	DATE	DESCRIPTION
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PROJECT NUMBER: 219017

DRAWN BY: 1

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SHEET TITLE

DRAWING LIST AND UNIT MATRIX

G-001

DRAWING LIST	
Sheet Name	Sheet Group Name
GENERAL	
COVER SHEET	GENERAL
DRAWING LIST AND UNIT MATRIX	GENERAL
LANDSCAPE	
TREE PROTECTION/REMOVAL PLAN	LANDSCAPE
OVERALL LANDSCAPE PLAN	LANDSCAPE
ARCHITECTURAL	
EXISTING BUILDING HEIGHT DIAGRAM	ARCHITECTURAL
PROPOSED SITE PLAN	ARCHITECTURAL
FIRST FLOOR PLAN	ARCHITECTURAL
SECOND FLOOR PLAN	ARCHITECTURAL
THIRD FLOOR PLAN	ARCHITECTURAL
ROOF PLAN HVAC SOUND	ARCHITECTURAL
BUILDING ELEVATIONS	ARCHITECTURAL
BUILDING SECTIONS	ARCHITECTURAL
ENLARGED UNIT PLANS	ARCHITECTURAL
ENLARGED UNIT PLANS	ARCHITECTURAL
ENLARGED UNIT PLANS	ARCHITECTURAL
SITE SIGN DETAIL	ARCHITECTURAL
IMAGES	
RENDERINGS	IMAGES
Total Number of Sheets: 17	

UNIT MATRIX

OAK GROVE MILL
99 Washington, Melrose MA
11/8/2019

Unit Types	STUDIO		1BR						2BR						2BR +			UNITS		
	S1.1	S1.2	A1	A1-X	A1-A	A1.1	A1.3	A4	A4.1	LOFT	B1.2	B1.2-A	B3	B3.1	B5	B6	B1		B1-A	B1-X
Net SF	557	532	667	878	697	794	703	892	804	B1.1 1,133	951	959	1,025	958	999	833	1,023	1,040	1,164	
Building R-1																				
Level 1	4	2	22	1			1	1					3				5	1	1	41
Level 2	4	2	27	1		1			1		1	1	3		1	1	5	1	1	50
Level 3	4	2	14		2	1				12	1	1		4	1	1	6	1		50
Total Units	12	6	63	2	2	2	1	1	1	12	2	2	6	4	2	2	16	3	2	141
% Unit Type	13%					72							30				21			
Total NSF	6,684	3,192	42,021	1,756	1,394	1,588	703	892	804	13,596	1,902	1,918	6,150	3,832	1,998	1,666	16,368	3,120	2,328	111,912
Average NSF	9,876					49,158							52,878							111,912
	549					683							1079							794

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E-ICON ARCHITECTURE

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CW
DG Copley Wolff Design Group
Landscape Architects & Planners

STAMP



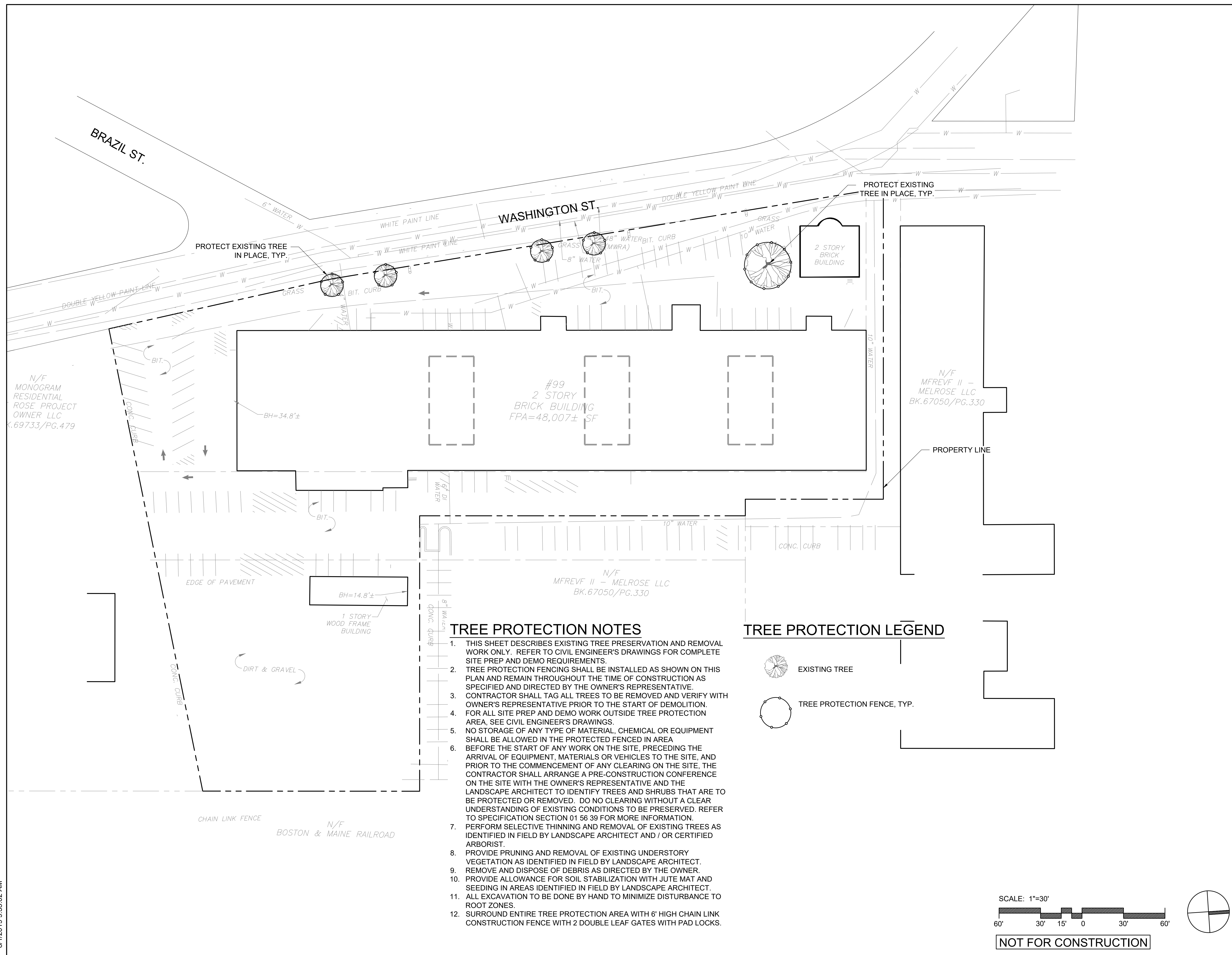
KEY PLAN

MARK	DATE	DESCRIPTION
PROJECT NUMBER: 219017		
DRAWN BY: IR		
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SHEET TITLE

TREE PROTECTION/REMOVAL PLAN

L-000

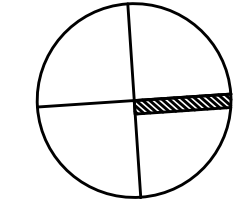
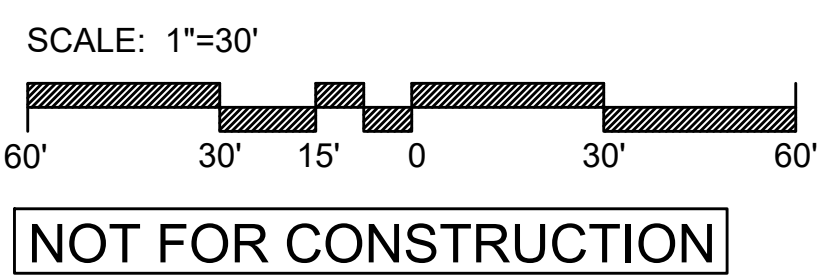


TREE PROTECTION NOTES

1. THIS SHEET DESCRIBES EXISTING TREE PRESERVATION AND REMOVAL WORK ONLY. REFER TO CIVIL ENGINEER'S DRAWINGS FOR COMPLETE SITE PREP AND DEMO REQUIREMENTS.
2. TREE PROTECTION FENCING SHALL BE INSTALLED AS SHOWN ON THIS PLAN AND REMAIN THROUGHOUT THE TIME OF CONSTRUCTION AS SPECIFIED AND DIRECTED BY THE OWNER'S REPRESENTATIVE.
3. CONTRACTOR SHALL TAG ALL TREES TO BE REMOVED AND VERIFY WITH OWNER'S REPRESENTATIVE PRIOR TO THE START OF DEMOLITION.
4. FOR ALL SITE PREP AND DEMO WORK OUTSIDE TREE PROTECTION AREA, SEE CIVIL ENGINEER'S DRAWINGS.
5. NO STORAGE OF ANY TYPE OF MATERIAL, CHEMICAL OR EQUIPMENT SHALL BE ALLOWED IN THE PROTECTED FENCED IN AREA
6. BEFORE THE START OF ANY WORK ON THE SITE, PRECEDING THE ARRIVAL OF EQUIPMENT, MATERIALS OR VEHICLES TO THE SITE, AND PRIOR TO THE COMMENCEMENT OF ANY CLEARING ON THE SITE, THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE ON THE SITE WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT TO IDENTIFY TREES AND SHRUBS THAT ARE TO BE PROTECTED OR REMOVED. DO NO CLEARING WITHOUT A CLEAR UNDERSTANDING OF EXISTING CONDITIONS TO BE PRESERVED. REFER TO SPECIFICATION SECTION 01 56 39 FOR MORE INFORMATION.
7. PERFORM SELECTIVE THINNING AND REMOVAL OF EXISTING TREES AS IDENTIFIED IN FIELD BY LANDSCAPE ARCHITECT AND / OR CERTIFIED ARBORIST.
8. PROVIDE PRUNING AND REMOVAL OF EXISTING UNDERSTORY VEGETATION AS IDENTIFIED IN FIELD BY LANDSCAPE ARCHITECT.
9. REMOVE AND DISPOSE OF DEBRIS AS DIRECTED BY THE OWNER.
10. PROVIDE ALLOWANCE FOR SOIL STABILIZATION WITH JUTE MAT AND SEEDING IN AREAS IDENTIFIED IN FIELD BY LANDSCAPE ARCHITECT.
11. ALL EXCAVATION TO BE DONE BY HAND TO MINIMIZE DISTURBANCE TO ROOT ZONES.
12. SURROUND ENTIRE TREE PROTECTION AREA WITH 6' HIGH CHAIN LINK CONSTRUCTION FENCE WITH 2 DOUBLE LEAF GATES WITH PAD LOCKS.

TREE PROTECTION LEGEND

- EXISTING TREE
- TREE PROTECTION FENCE, TYP.



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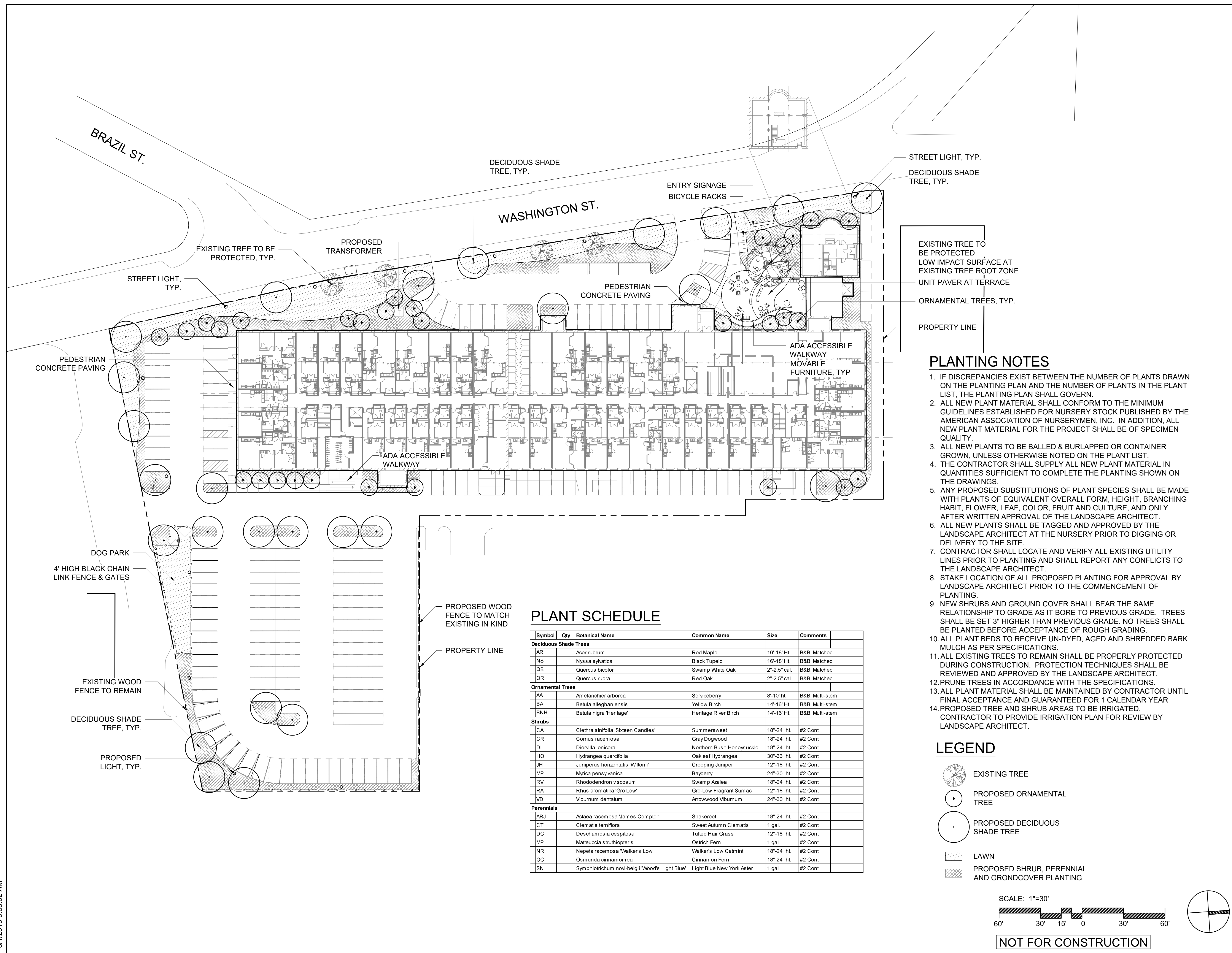
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SHEET TITLE

OVERALL LANDSCAPE PLAN

L-100



PLANTING NOTES

- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.
- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY.
- ALL NEW PLANTS TO BE BALLED & BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL NEW PLANTS SHALL BE TAGGED AND APPROVED BY THE LANDSCAPE ARCHITECT AT THE NURSERY PRIOR TO DIGGING OR DELIVERY TO THE SITE.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
- STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING.
- NEW SHRUBS AND GROUND COVER SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE. TREES SHALL BE SET 3" HIGHER THAN PREVIOUS GRADE. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
- ALL PLANT BEDS TO RECEIVE UN-DYED, AGED AND SHREDDED BARK MULCH AS PER SPECIFICATIONS.
- ALL EXISTING TREES TO REMAIN SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. PROTECTION TECHNIQUES SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- PRUNE TREES IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED BY CONTRACTOR UNTIL FINAL ACCEPTANCE AND GUARANTEED FOR 1 CALENDAR YEAR
- PROPOSED TREE AND SHRUB AREAS TO BE IRRIGATED. CONTRACTOR TO PROVIDE IRRIGATION PLAN FOR REVIEW BY LANDSCAPE ARCHITECT.

LEGEND

- EXISTING TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED DECIDUOUS SHADE TREE
- LAWN
- PROPOSED SHRUB, PERENNIAL AND GROUND COVER PLANTING

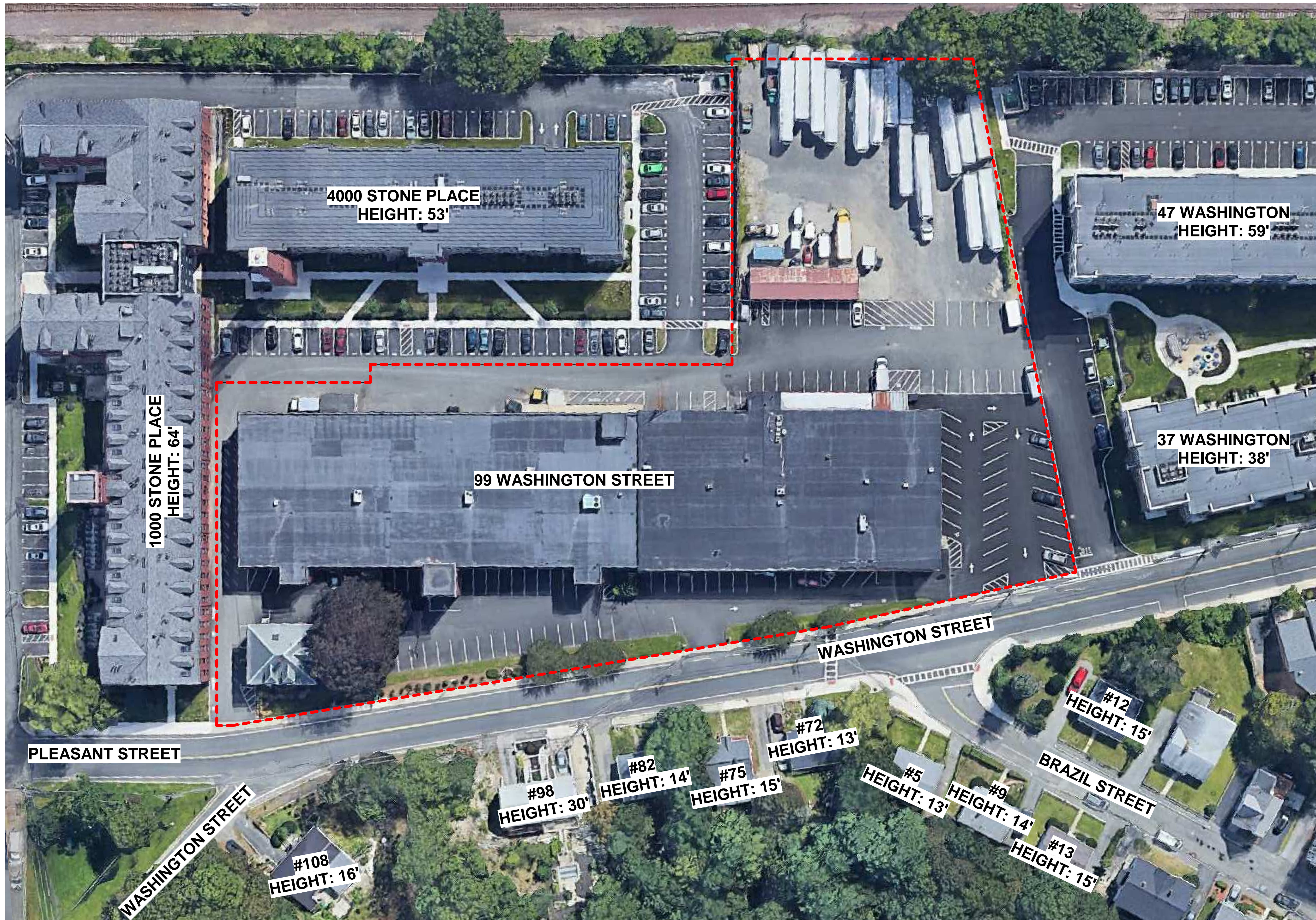
SCALE: 1"=30'

60' 30' 15' 0' 30' 60'

NOT FOR CONSTRUCTION

PLANT SCHEDULE

Symbol	Qty	Botanical Name	Common Name	Size	Comments
Deciduous Shade Trees					
AR		Acer rubrum	Red Maple	16'-18' Ht.	B&B, Matched
NS		Nyssa sylvatica	Black Tupelo	16'-18' Ht.	B&B, Matched
QB		Quercus bicolor	Swamp White Oak	2"-2.5" cal.	B&B, Matched
QR		Quercus rubra	Red Oak	2"-2.5" cal.	B&B, Matched
Ornamental Trees					
AA		Amelanchier arborea	Serviceberry	8'-10' Ht.	B&B, Multi-stem
BA		Betula alleghaniensis	Yellow Birch	14'-16' Ht.	B&B, Multi-stem
BNH		Betula nigra 'Heritage'	Heritage River Birch	14'-16' Ht.	B&B, Multi-stem
Shrubs					
CA		Clethra alnifolia 'Sixteen Candles'	Summersweet	18"-24" Ht.	#2 Cont.
CR		Cornus racemosa	Gray Dogwood	18"-24" Ht.	#2 Cont.
DL		Diervilla lonicera	Northern Bush Honeysuckle	18"-24" Ht.	#2 Cont.
HQ		Hydrangea quercifolia	Oakleaf Hydrangea	30"-36" Ht.	#2 Cont.
JH		Juniperus horizontalis 'Wiltonii'	Creeping Juniper	12"-18" Ht.	#2 Cont.
MP		Myrica pensylvanica	Bayberry	24"-30" Ht.	#2 Cont.
RV		Rhododendron viscosum	Swamp Azalea	18"-24" Ht.	#2 Cont.
RA		Rhus aromatica 'Gro Low'	Gro-Low Fragrant Sumac	12"-18" Ht.	#2 Cont.
VD		Viburnum dentatum	Arrowwood Viburnum	24"-30" Ht.	#2 Cont.
Perennials					
ARJ		Actaea racemosa 'James Compton'	Snakeroot	18"-24" Ht.	#2 Cont.
CT		Clematis terniflora	Sweet Autumn Clematis	1 gal.	#2 Cont.
DC		Deschampsia cespitosa	Tufted Hair Grass	12"-18" Ht.	#2 Cont.
MP		Mattuccia struthiopteris	Ostrich Fern	1 gal.	#2 Cont.
NR		Nepeta racemosa 'Walker's Low'	Walker's Low Catmint	18"-24" Ht.	#2 Cont.
OC		Osmunda cinnamomea	Cinnamon Fern	18"-24" Ht.	#2 Cont.
SN		Symphyotrichum nov-belgii 'Wood's Light Blue'	Light Blue New York Aster	1 gal.	#2 Cont.



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KEY PLAN

MARK	DATE	DESCRIPTION
PROJECT NUMBER: 219017		
DRAWN BY: Author		
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DRAWN BY: Author

CHECKED BY: Checker

SHEET TITLE

EXISTING BUILDING HEIGHT DIAGRAM

A-001

All surrounding buildings are Residential. A mix of Multi-Family and Single Family buildings.

1 EXISTING SITE PLAN
1" = 30'-0"

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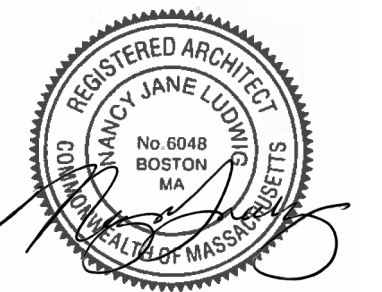
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KEY PLAN

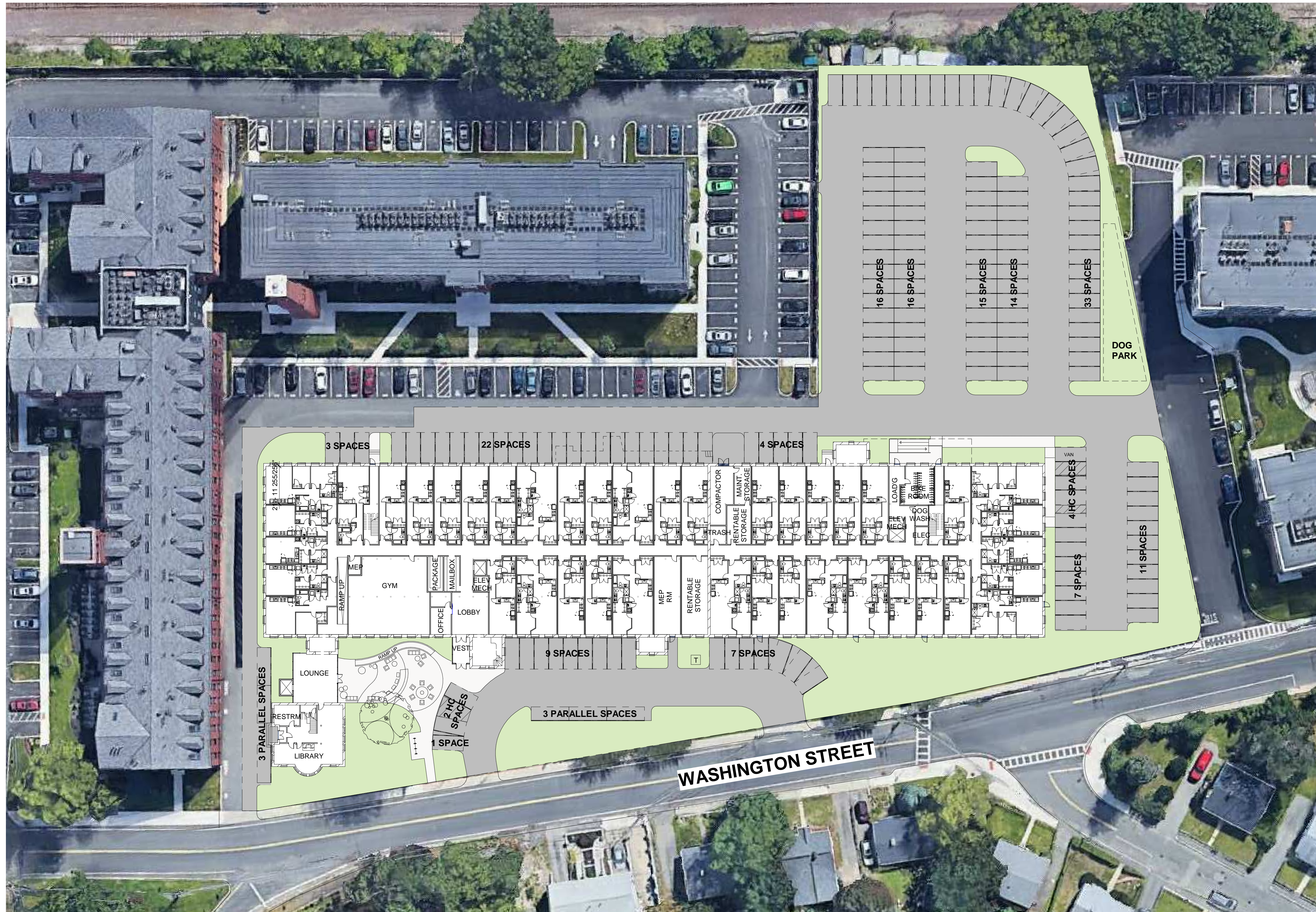
MARK	DATE	DESCRIPTION
	11-25-2019	SITE PLAN REVIEW

PROJECT NUMBER: 219017
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SHEET TITLE

PROPOSED SITE PLAN

A-100



1 PROPOSED OVERALL SITE PLAN
 1" = 30'-0"

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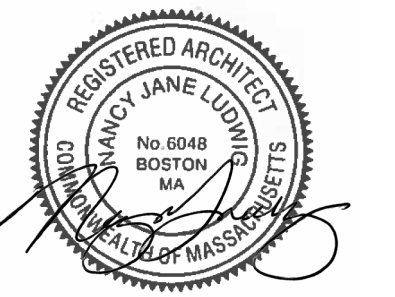
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KEY PLAN

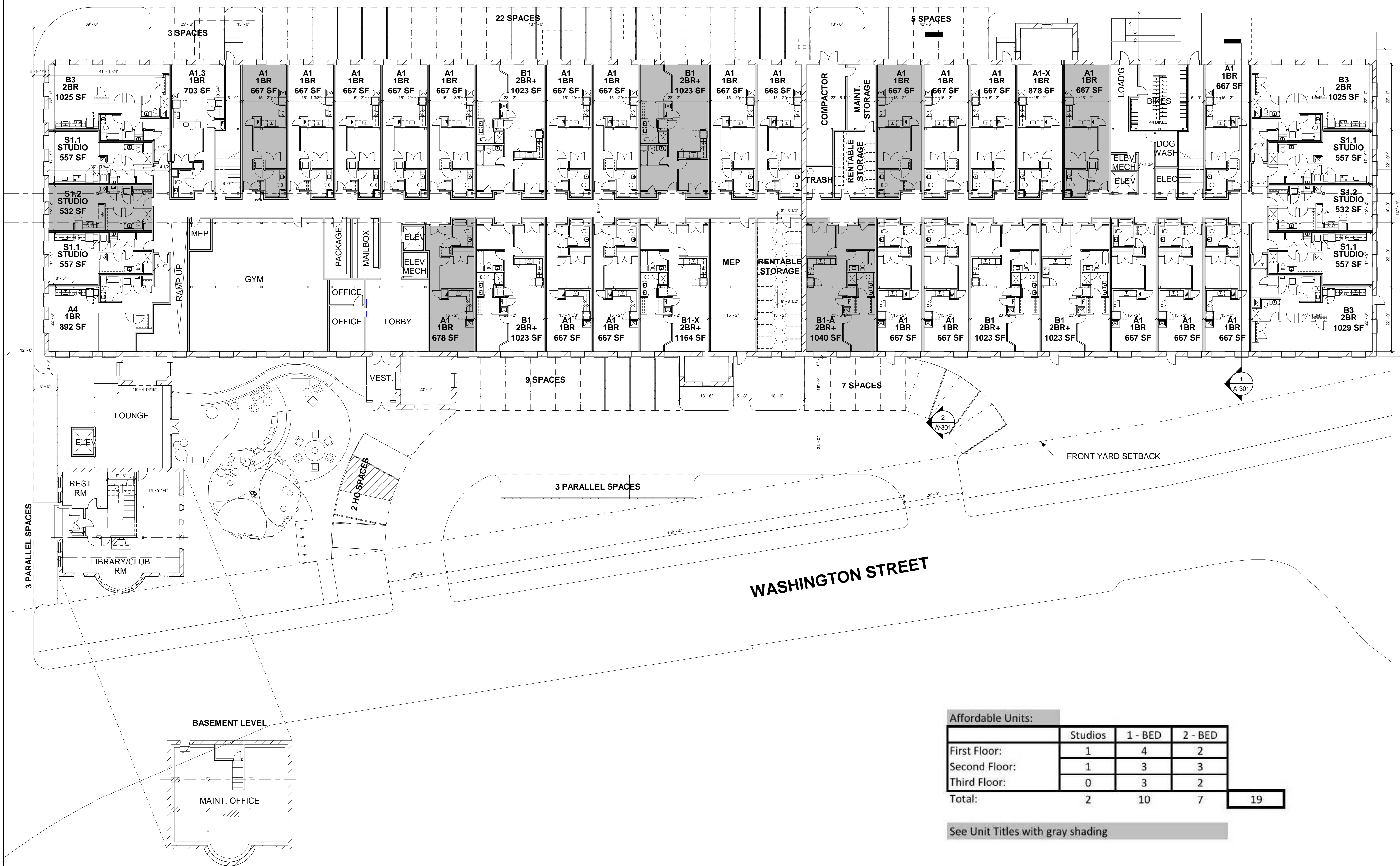
MARK	11-25-2019	SITE PLAN REVIEW
	DATE	DESCRIPTION

PROJECT NUMBER: 219017
 DRAWN BY: 3
 CHECKED BY: Checker

SHEET TITLE

FIRST FLOOR PLAN

A-101



Affordable Units:

	Studios	1 - BED	2 - BED	
First Floor:	1	4	2	
Second Floor:	1	3	3	
Third Floor:	0	3	2	
Total:	2	10	7	19

See Unit Titles with gray shading

1 LEVEL 1 FLOOR PLAN
 1/16" = 1'-0"

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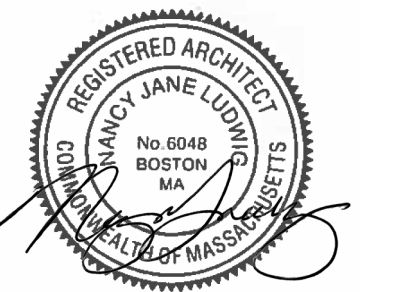
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KEY PLAN

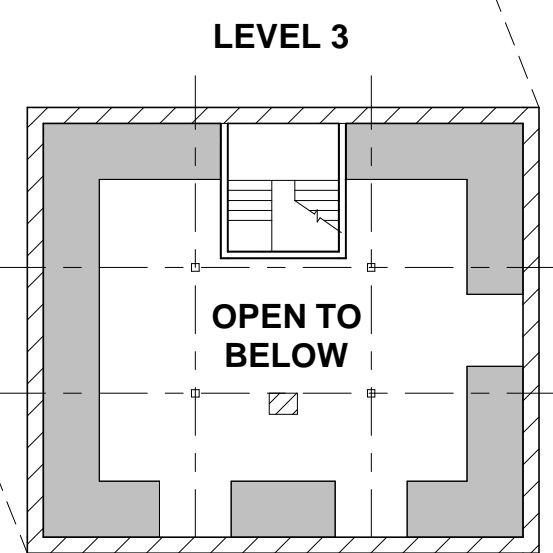
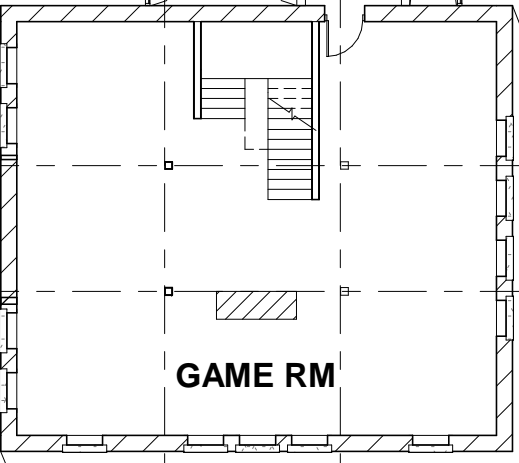
MARK	DATE	DESCRIPTION
	11-25-2019	SITE PLAN REVIEW

PROJECT NUMBER: 219017
 DRAWN BY: 3
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SHEET TITLE

SECOND FLOOR PLAN

A-102



1 SECOND FLOOR PLAN
 1/16" = 1'-0"

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KEY PLAN

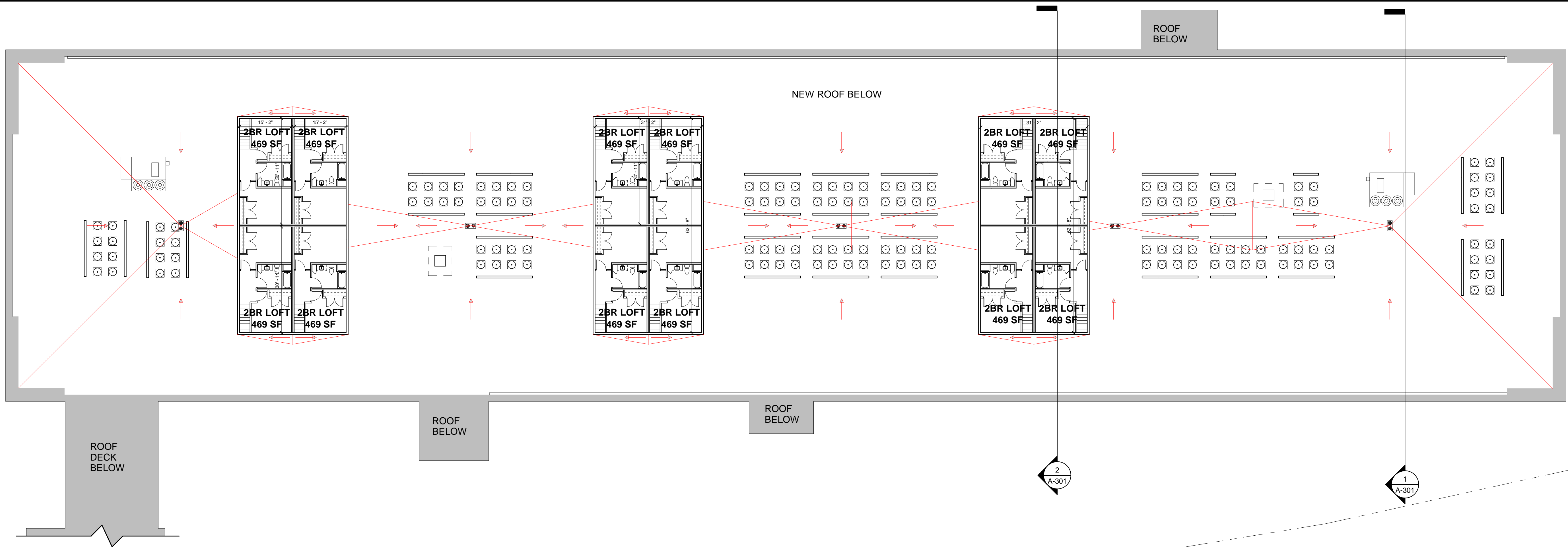
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	11-25-2019	SITE PLAN REVIEW

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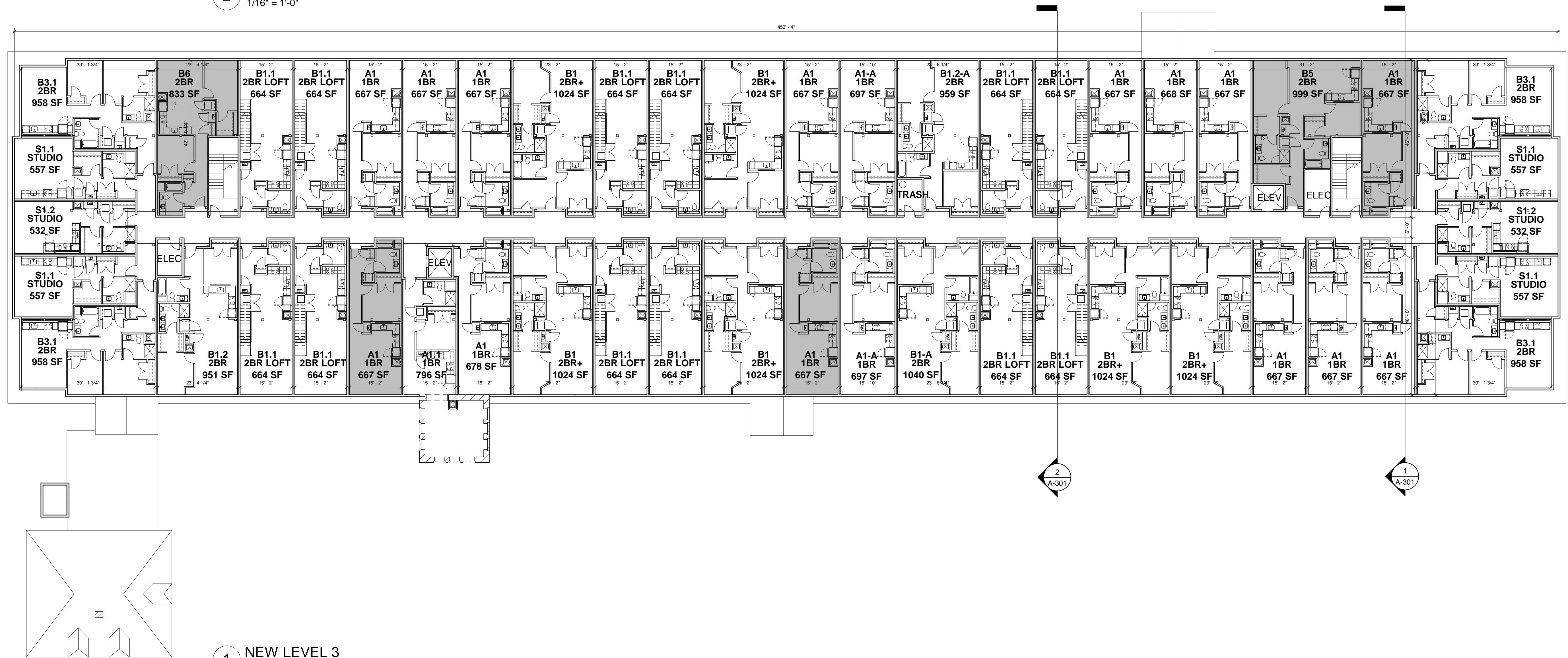
SHEET TITLE

THIRD FLOOR PLAN

A-103



2 THIRD FLOOR LOFT PLAN / ROOF PLAN
 1/16" = 1'-0"



1 NEW LEVEL 3
 1/16" = 1'-0"

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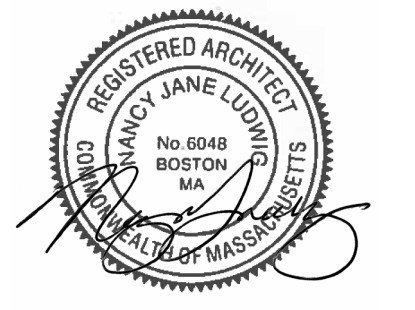
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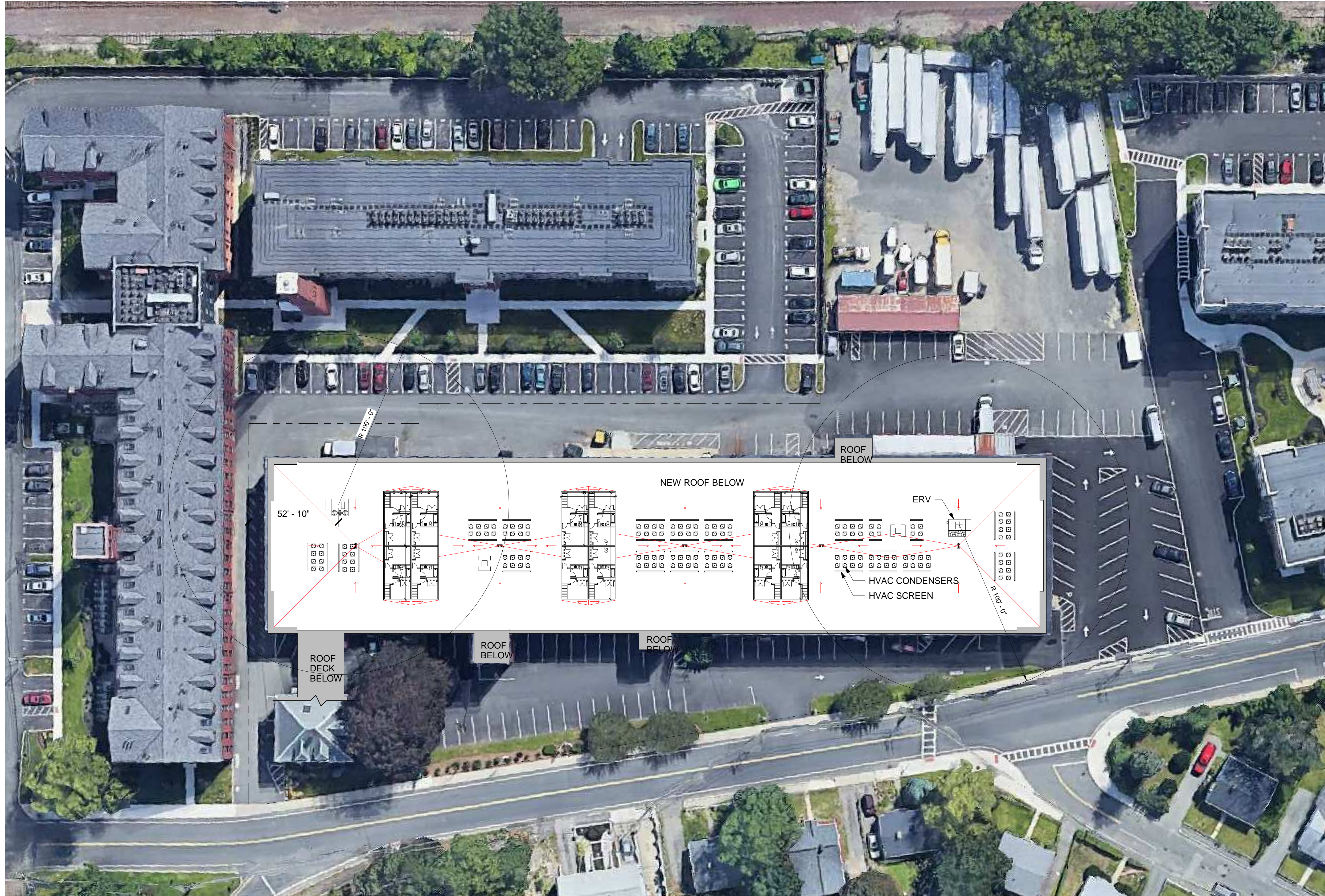
KEY PLAN

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PROJECT NUMBER:	219017	
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SHEET TITLE

ROOF PLAN HVAC SOUND

A-104



1 ROOF PLAN HVAC SOUND
1" = 30'-0"

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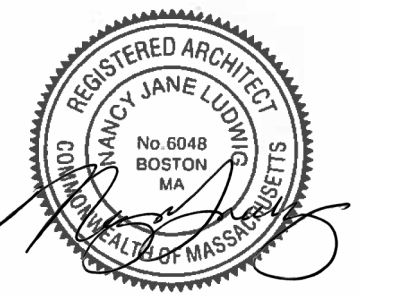
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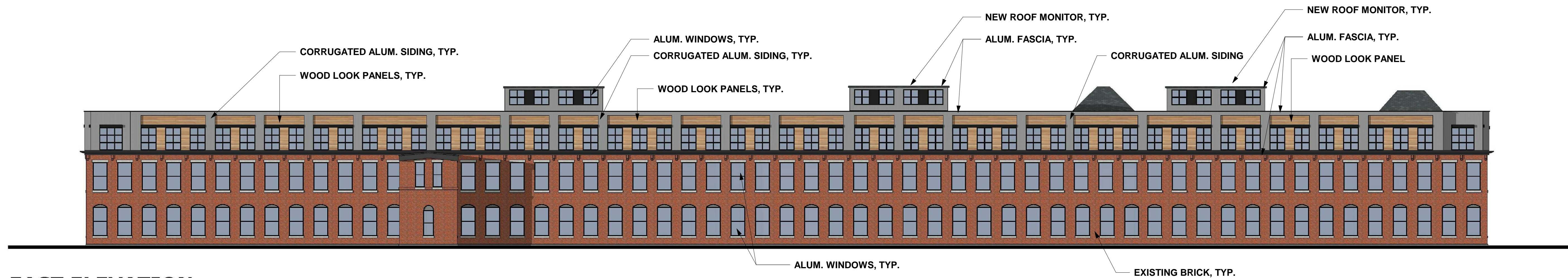
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BUILDING ELEVATIONS

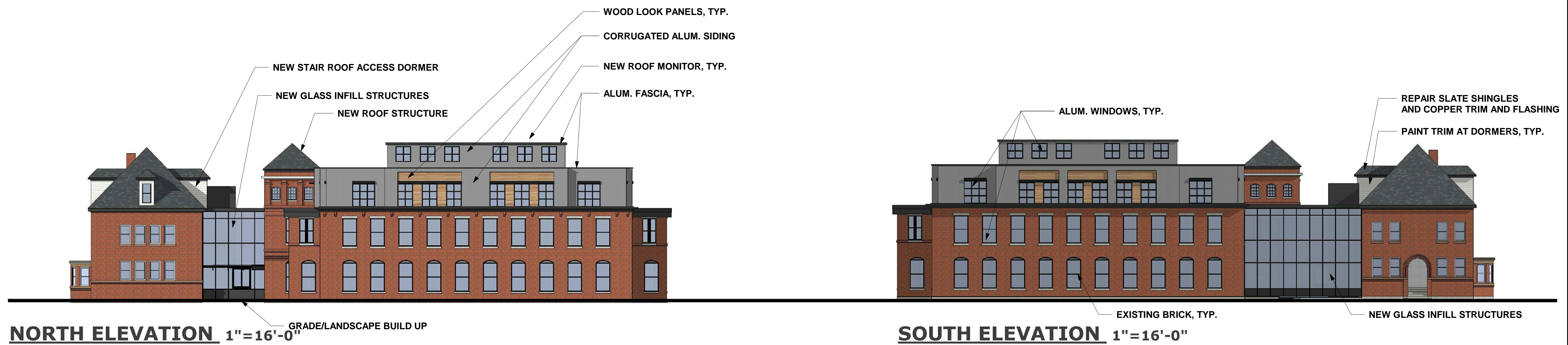
A-201



WEST ELEVATION 1"=16'-0"



EAST ELEVATION 1"=16'-0"



NORTH ELEVATION 1"=16'-0"

SOUTH ELEVATION 1"=16'-0"

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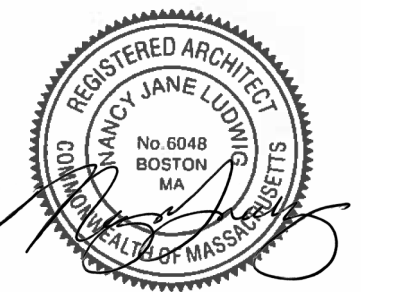
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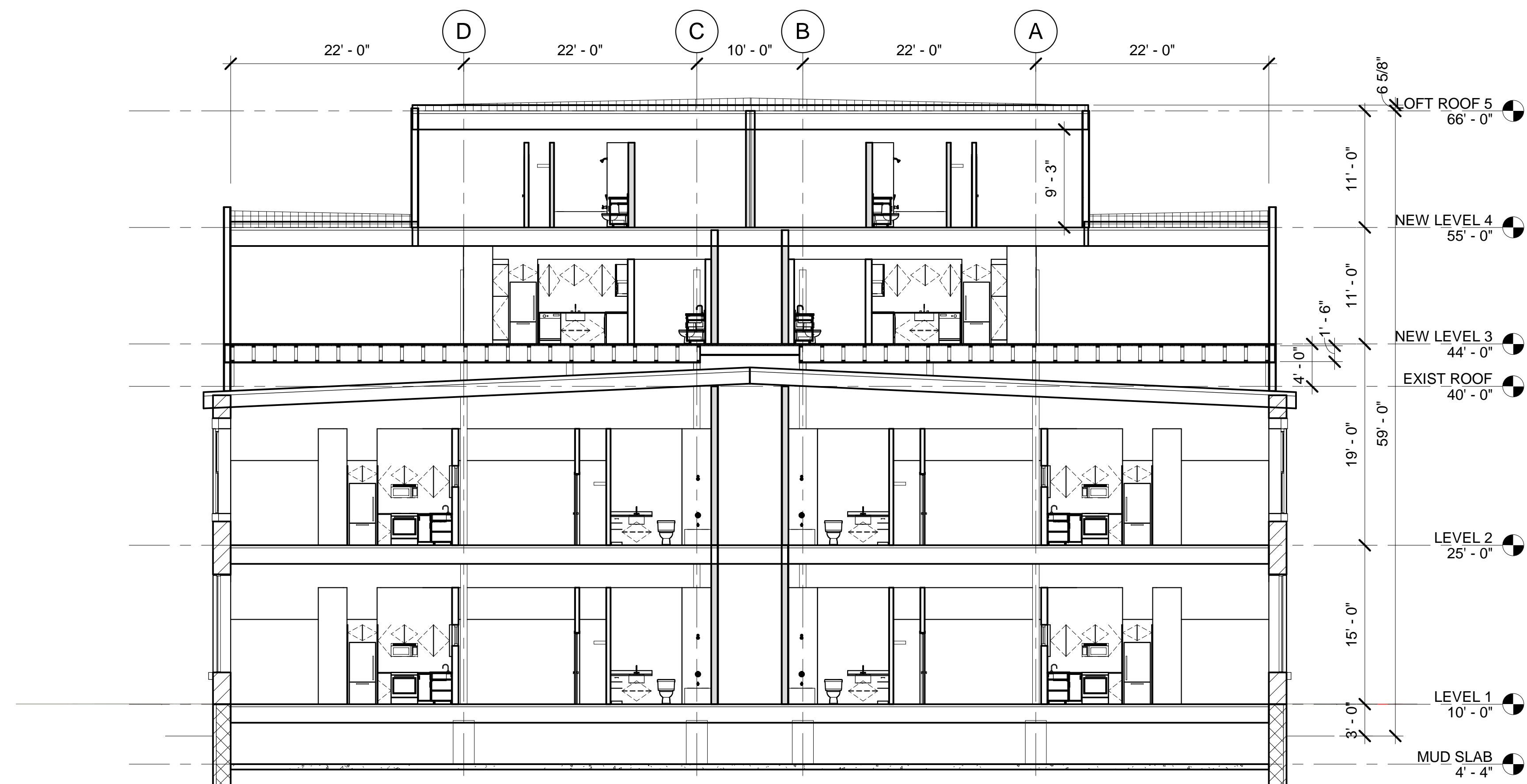
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SHEET TITLE

BUILDING SECTIONS

A-301



2 TYPICAL WAL SECTION CROSS SECTION @ LOFT
 1/8" = 1'-0"



1 TYPICAL BUILDING CROSS SECTION
 1/8" = 1'-0"

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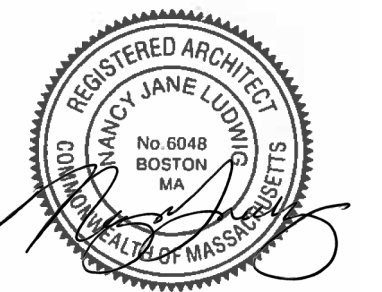
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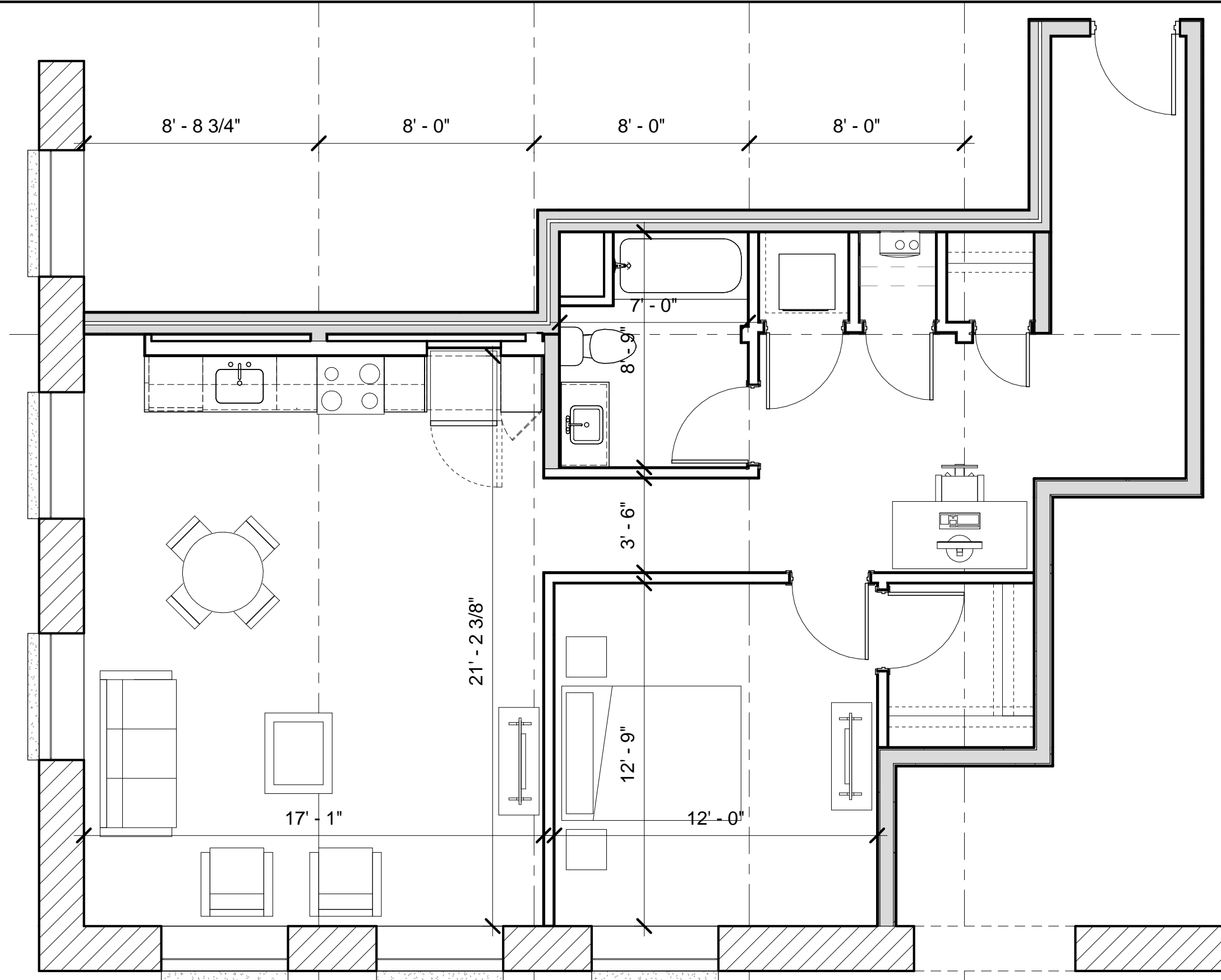
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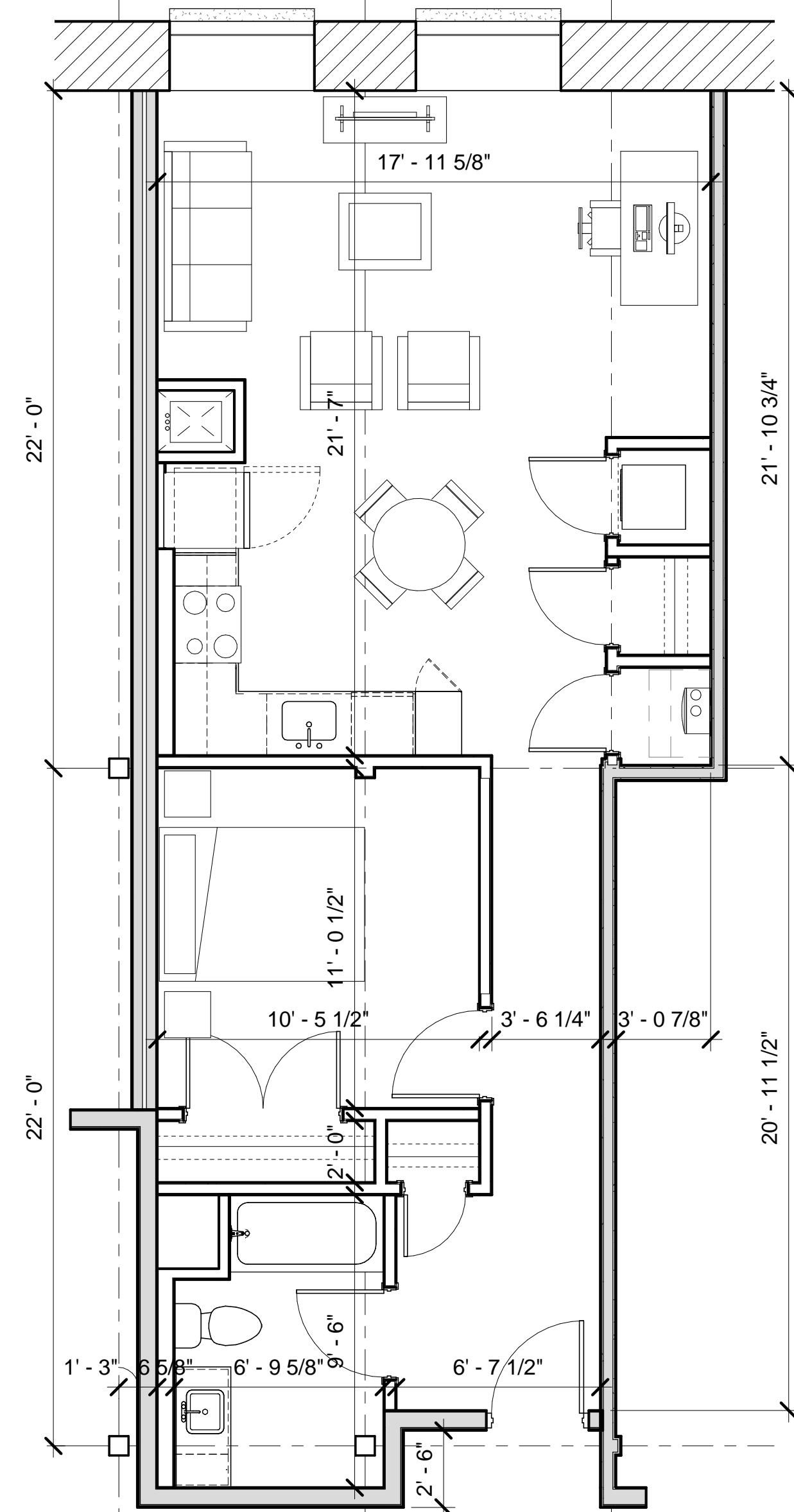
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ENLARGED UNIT PLANS

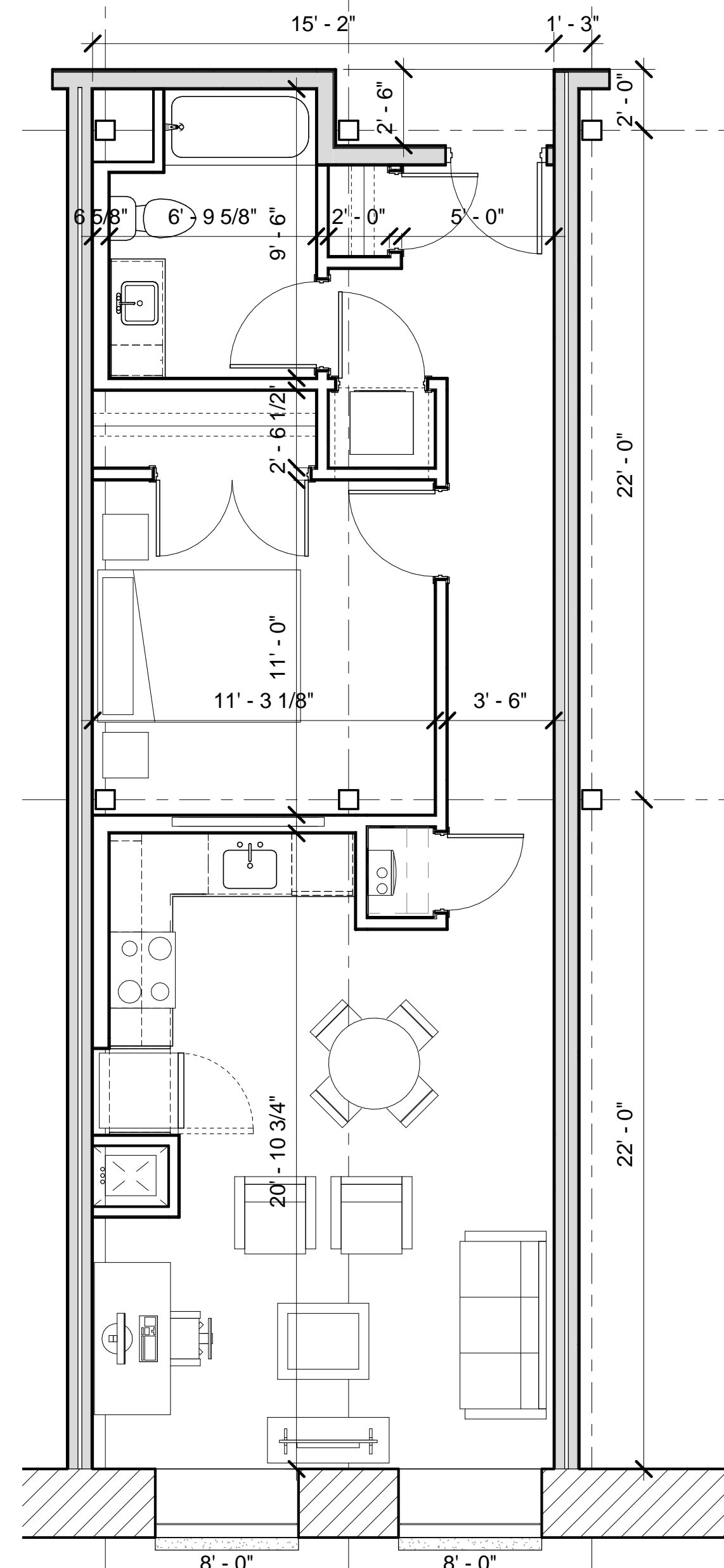
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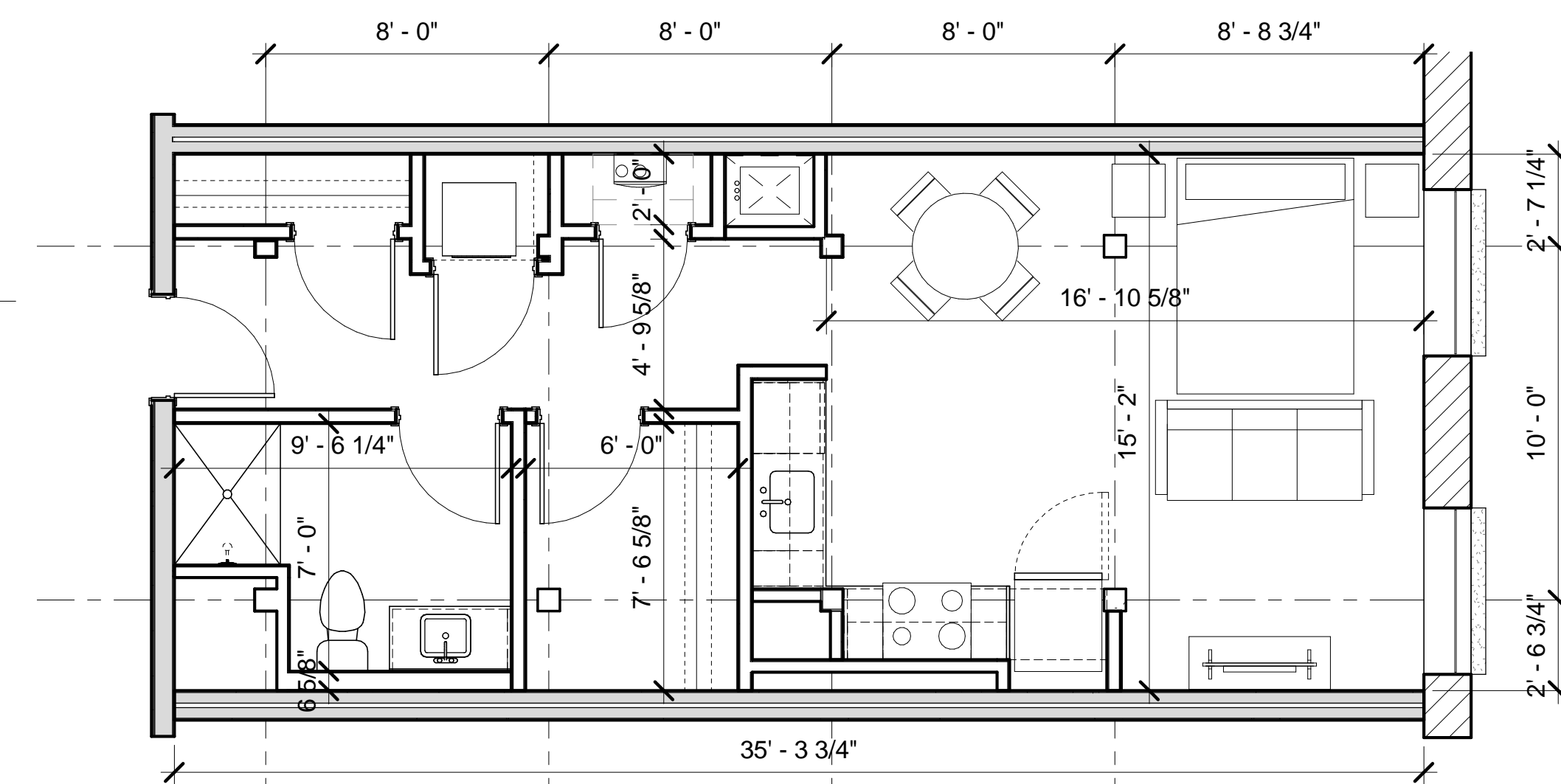
5 1BR - A4
1/4" = 1'-0"



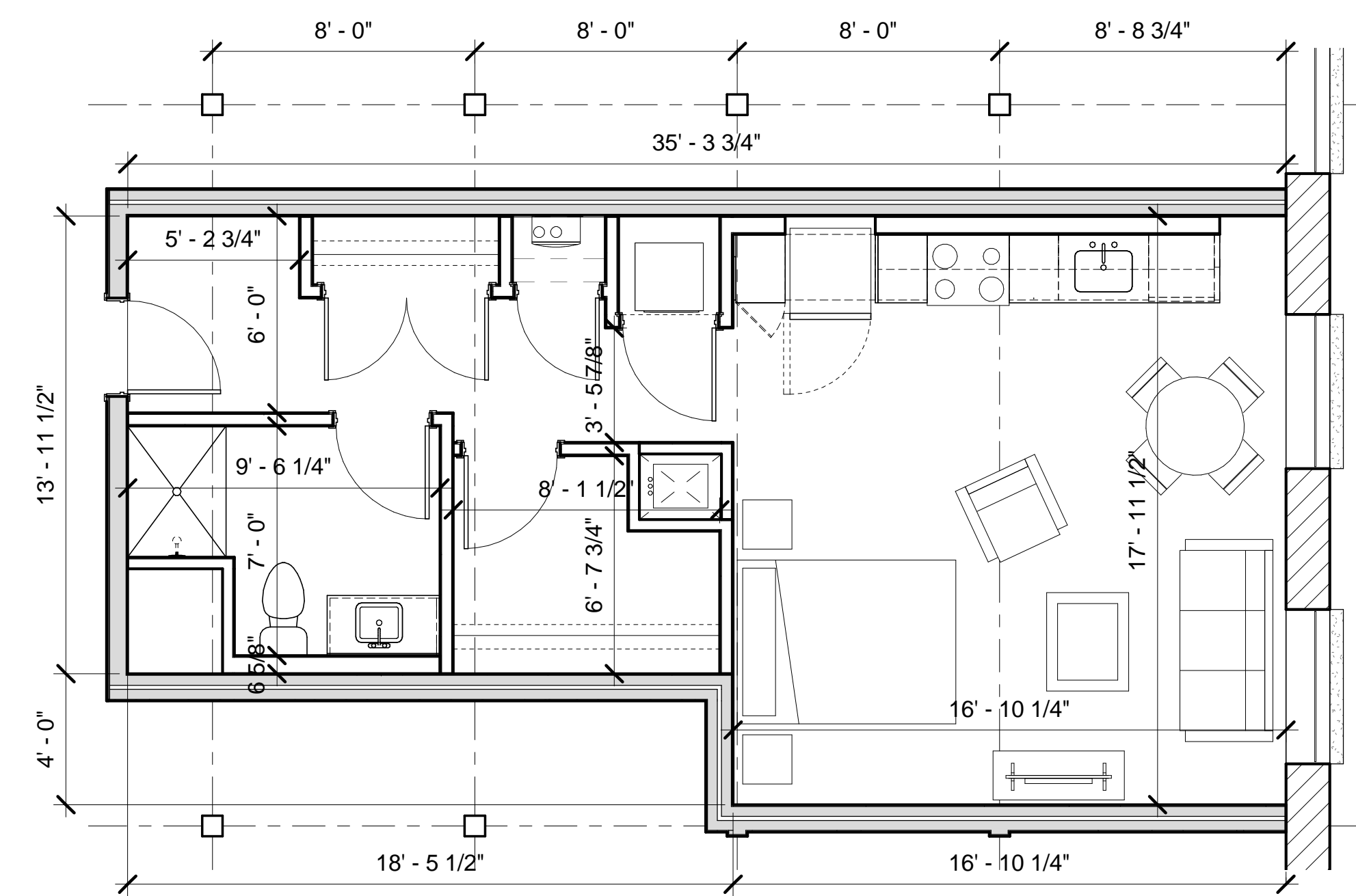
4 1BR - A1.3
1/4" = 1'-0"



3 1BR - A1
1/4" = 1'-0"



2 2 ST - S1.2
1/4" = 1'-0"



1 2 ST - S1.1
1/4" = 1'-0"

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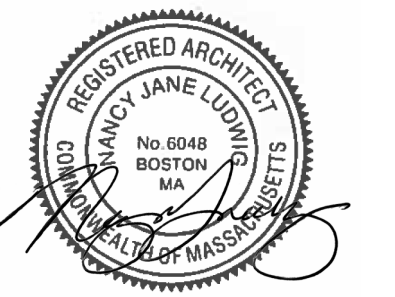
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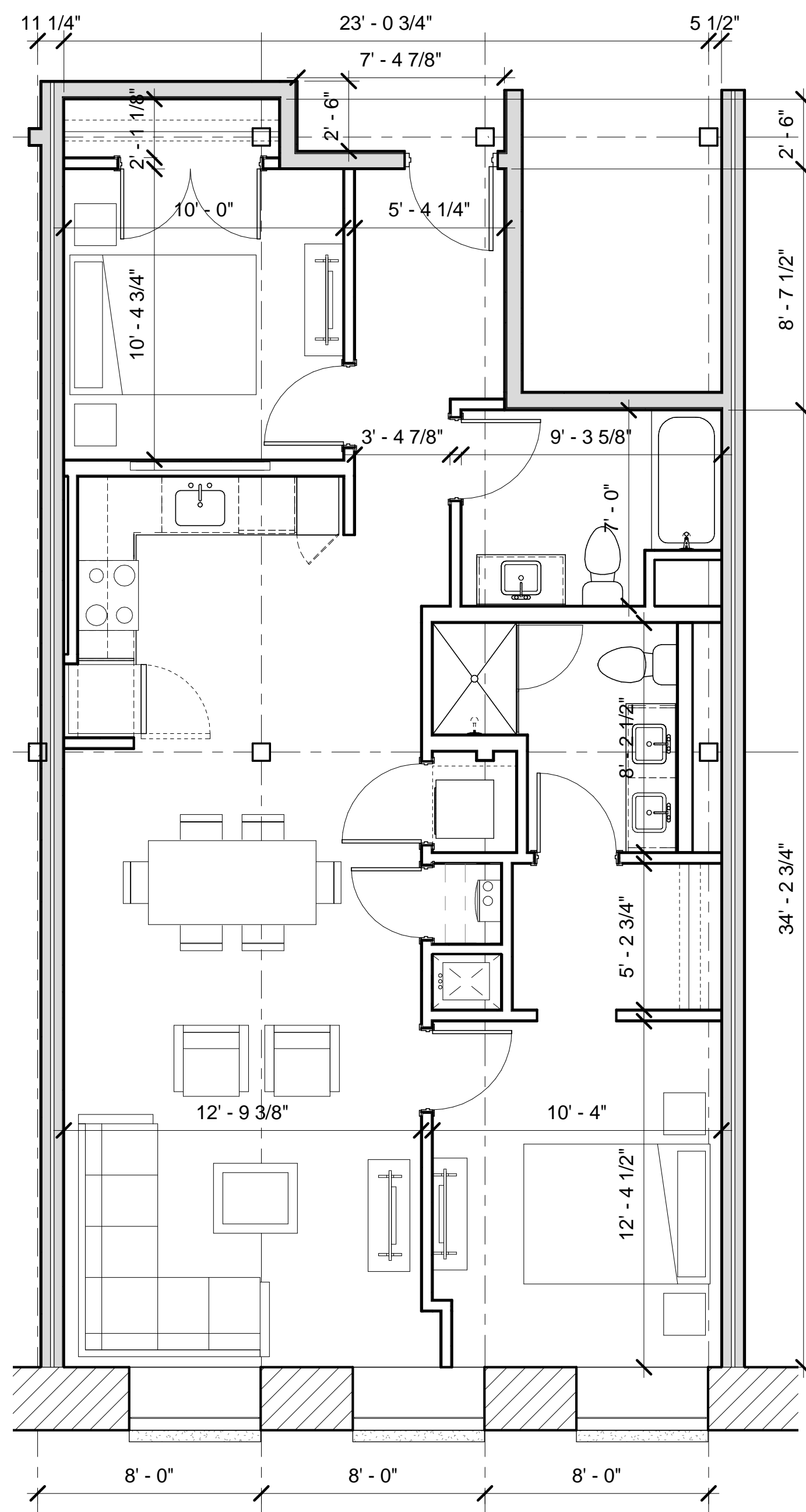
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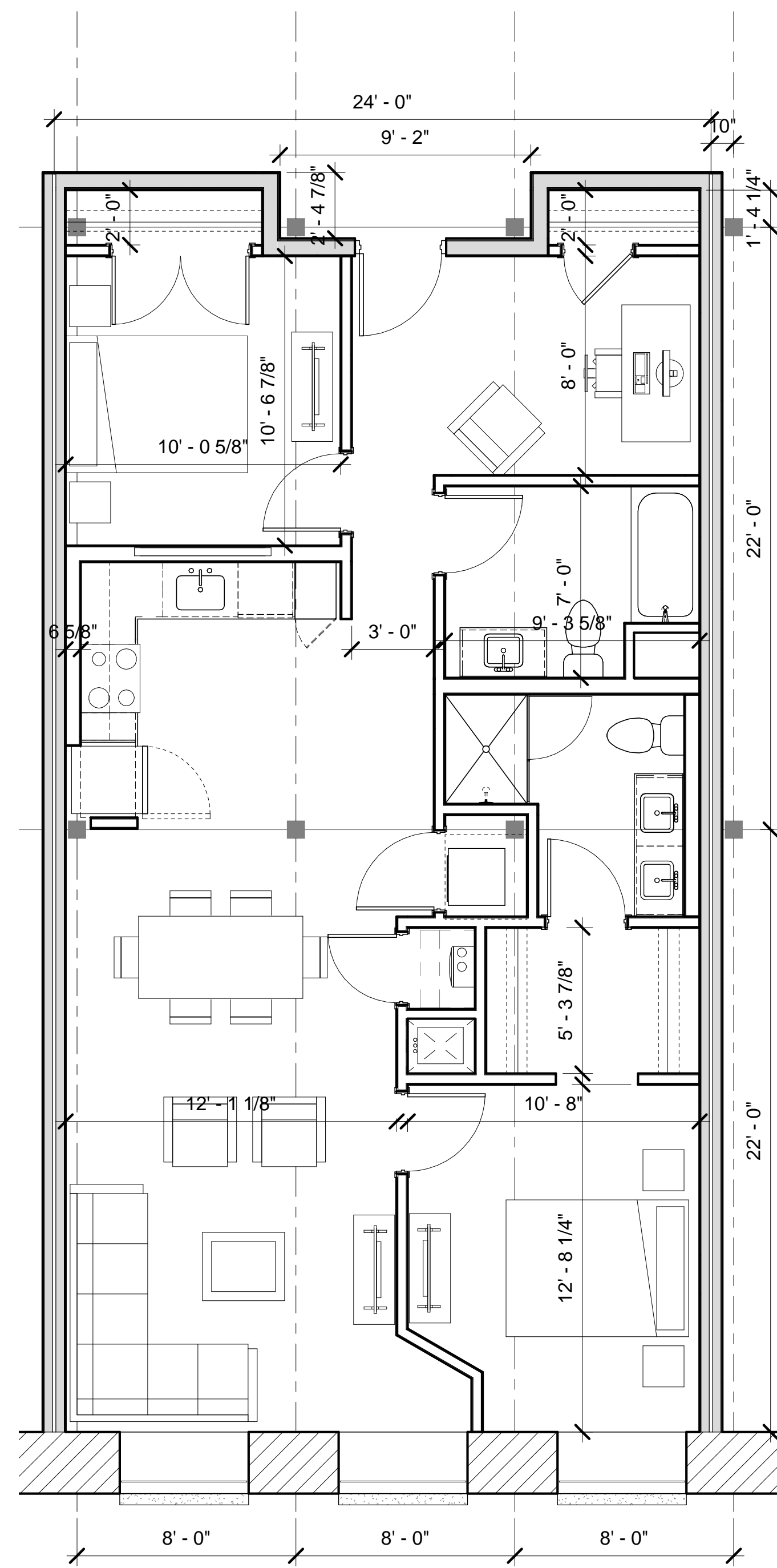
SHEET TITLE

ENLARGED UNIT PLANS

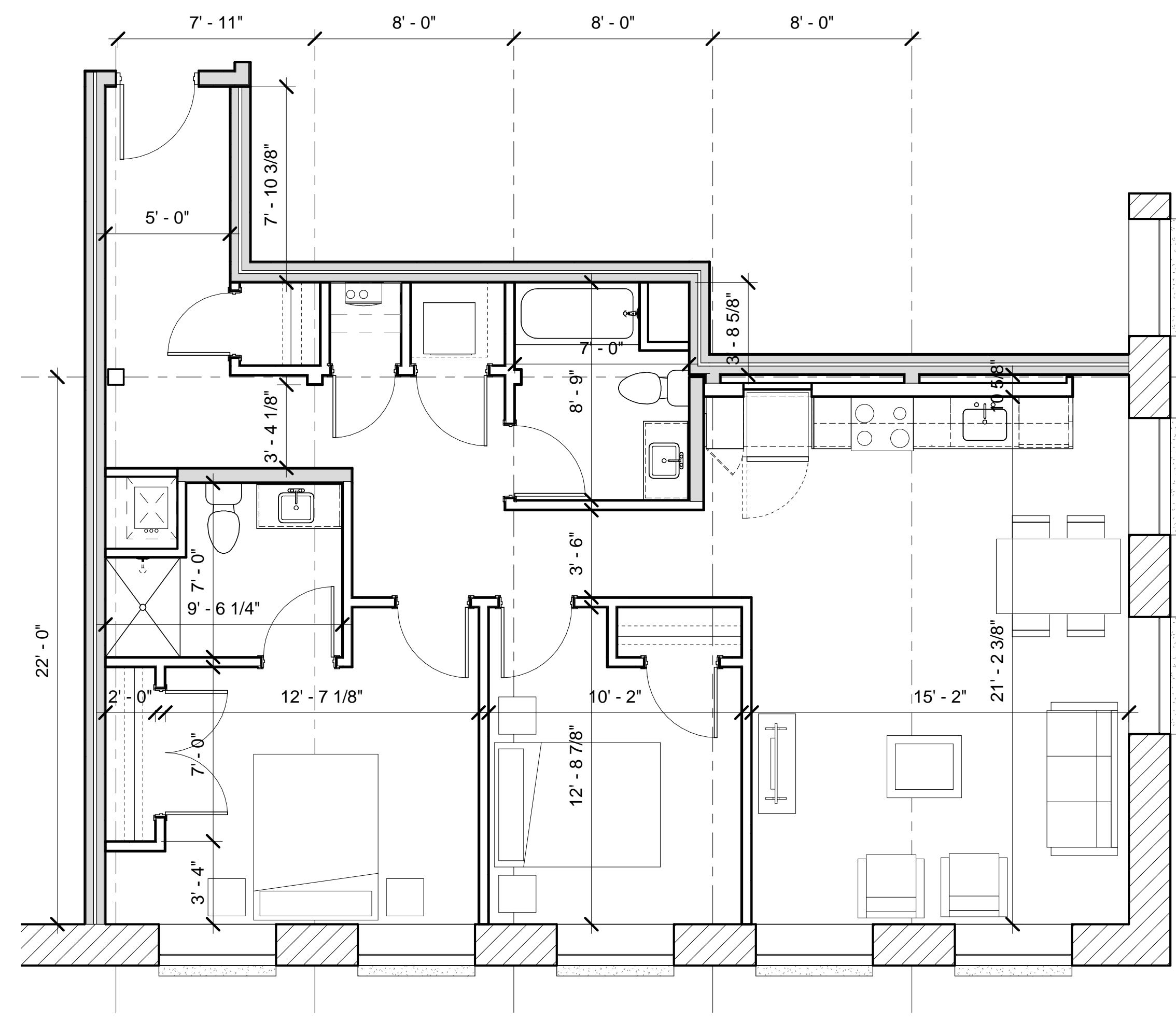
A-502



3 2BR - B1.2-A
1/4" = 1'-0"



2 2BR - B1
1/4" = 1'-0"



1 2BR - B3
1/4" = 1'-0"

OAK GROVE MILL

99 Washington Street, Melrose MA

OAK GROVE MILL, LLC

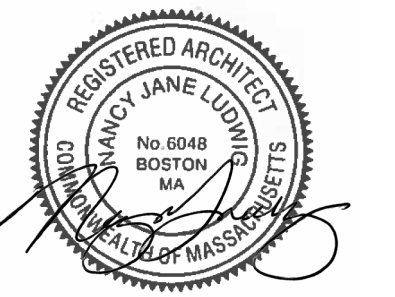
ARCHITECT



101 SUMMER ST BOSTON MA 02110

CONSULTANT

STAMP



KEY PLAN

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PROJECT NUMBER:	219017	
DRAWN BY:	3	
CHECKED BY:	Checker	

PROJECT NUMBER: 219017

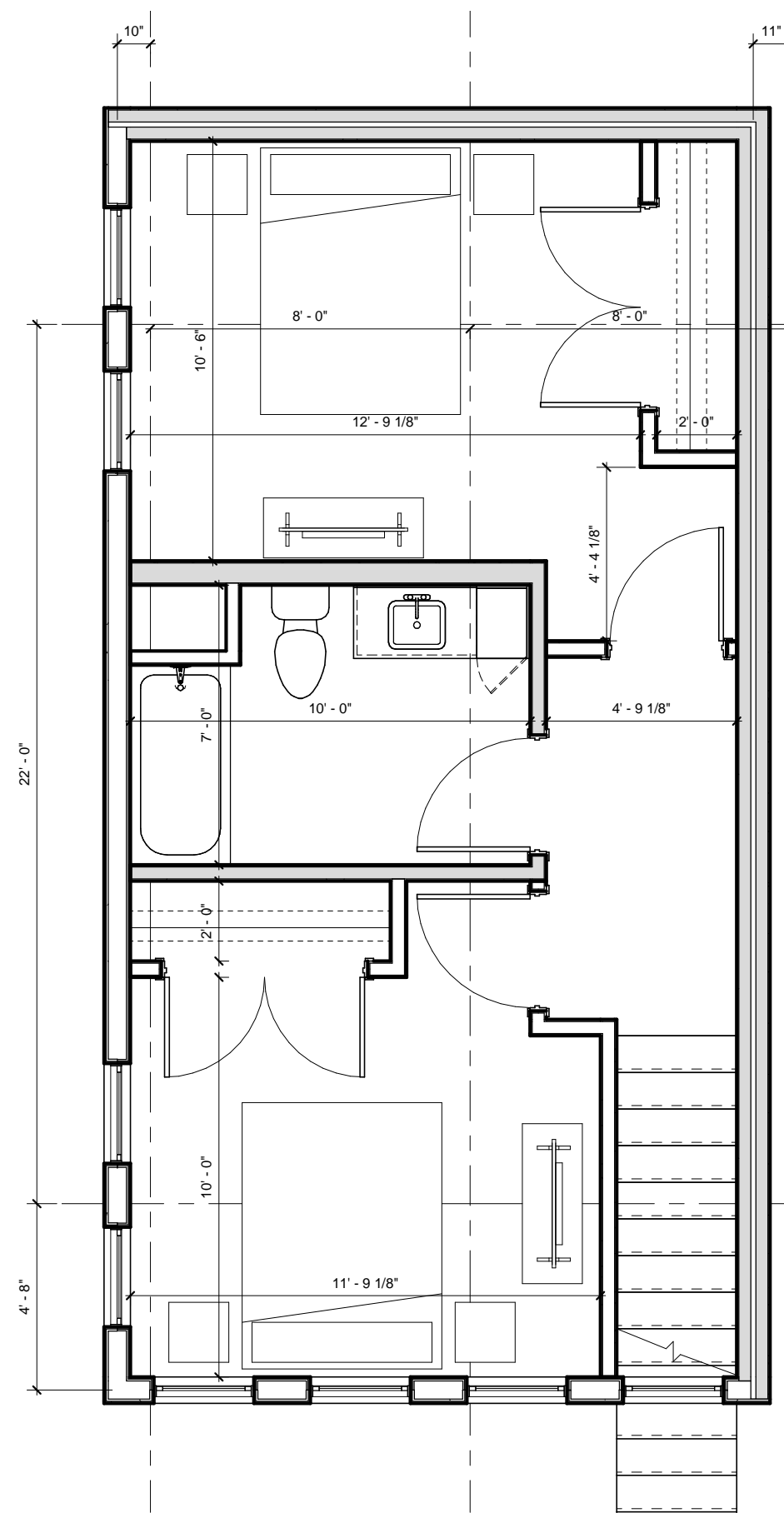
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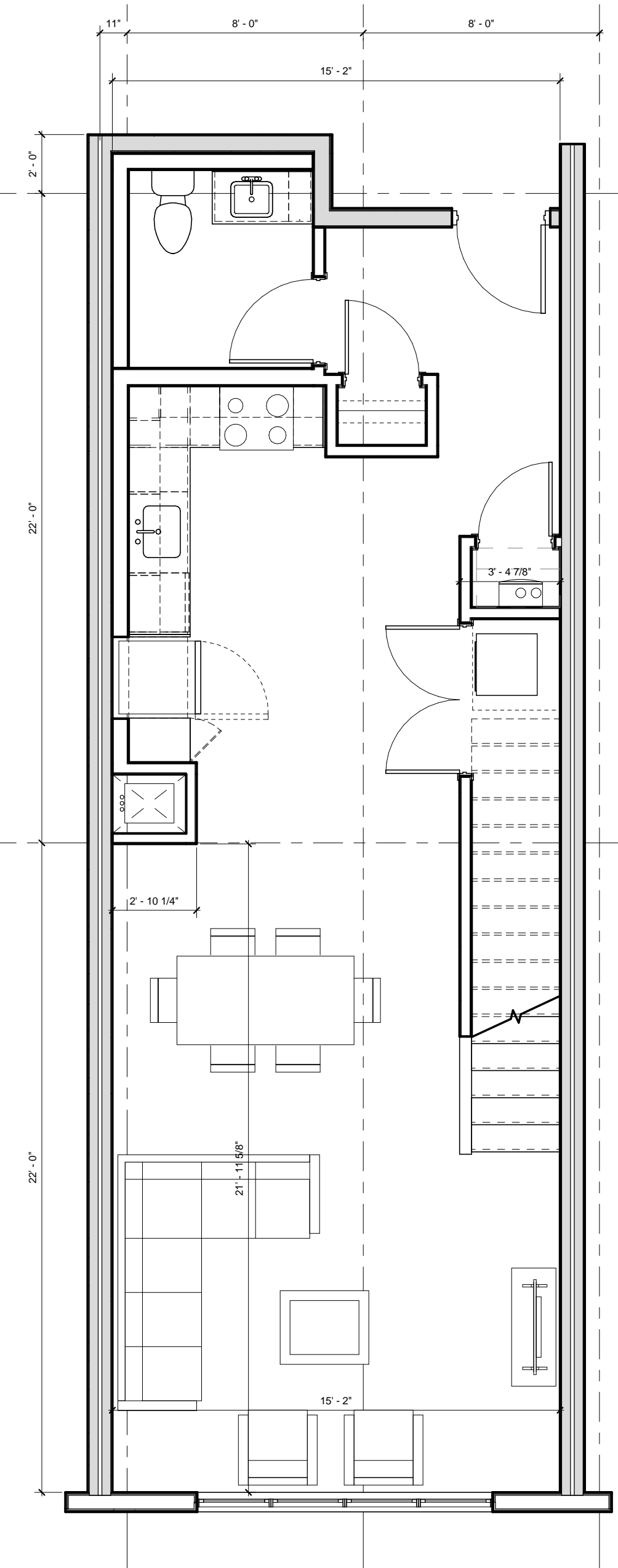
SHEET TITLE

ENLARGED UNIT PLANS

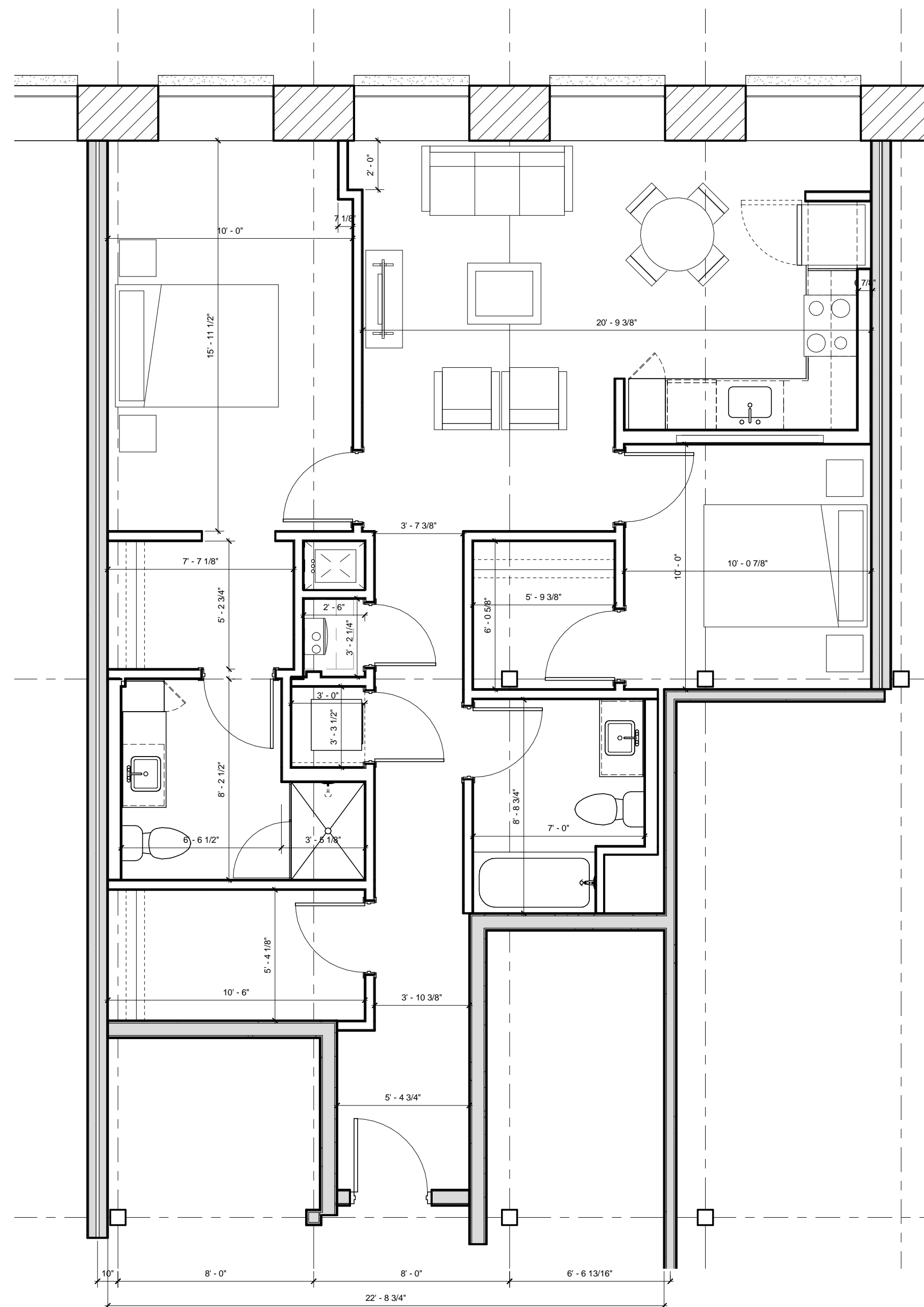
A-503



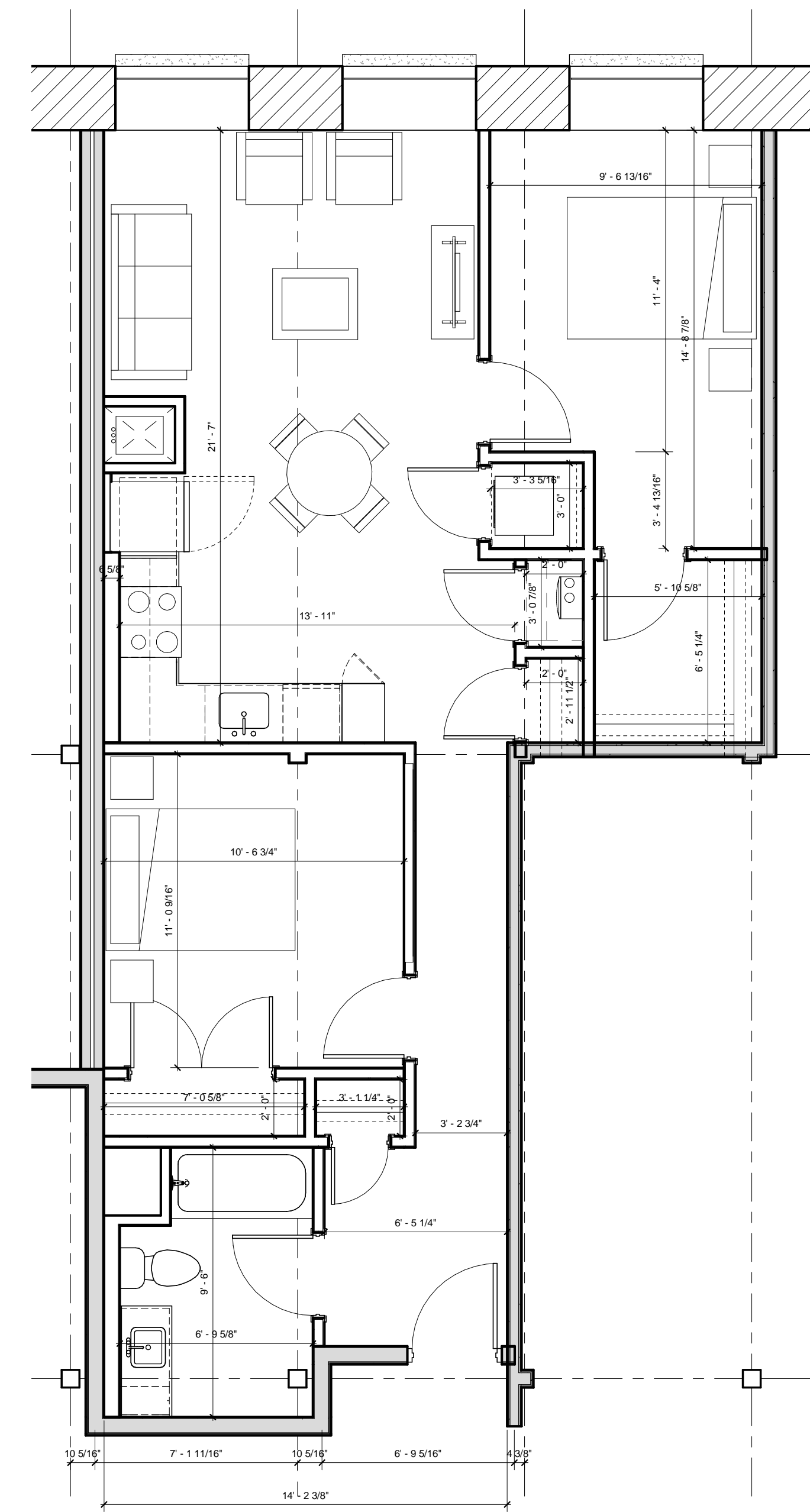
2 2BR - B1.1 LOFT LEVEL 2
1/4" = 1'-0"



1 2BR - B1.1 LOFT LEVEL 1
1/4" = 1'-0"



4 2BR - B5
1/4" = 1'-0"



3 2BR - B6
1/4" = 1'-0"

OAK GROVE MILL

99 Washington Street, Melrose MA

OAK GROVE MILL, LLC

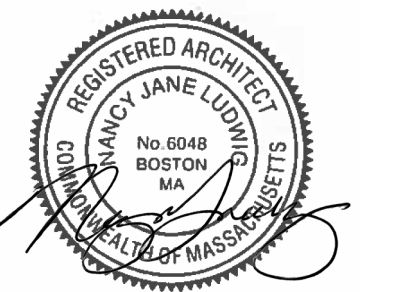
ARCHITECT



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CONSULTANT

STAMP



KEY PLAN

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PROJECT NUMBER: 219017		
DRAWN BY: Author		
CHECKED BY: Checker		

PROJECT NUMBER: 219017

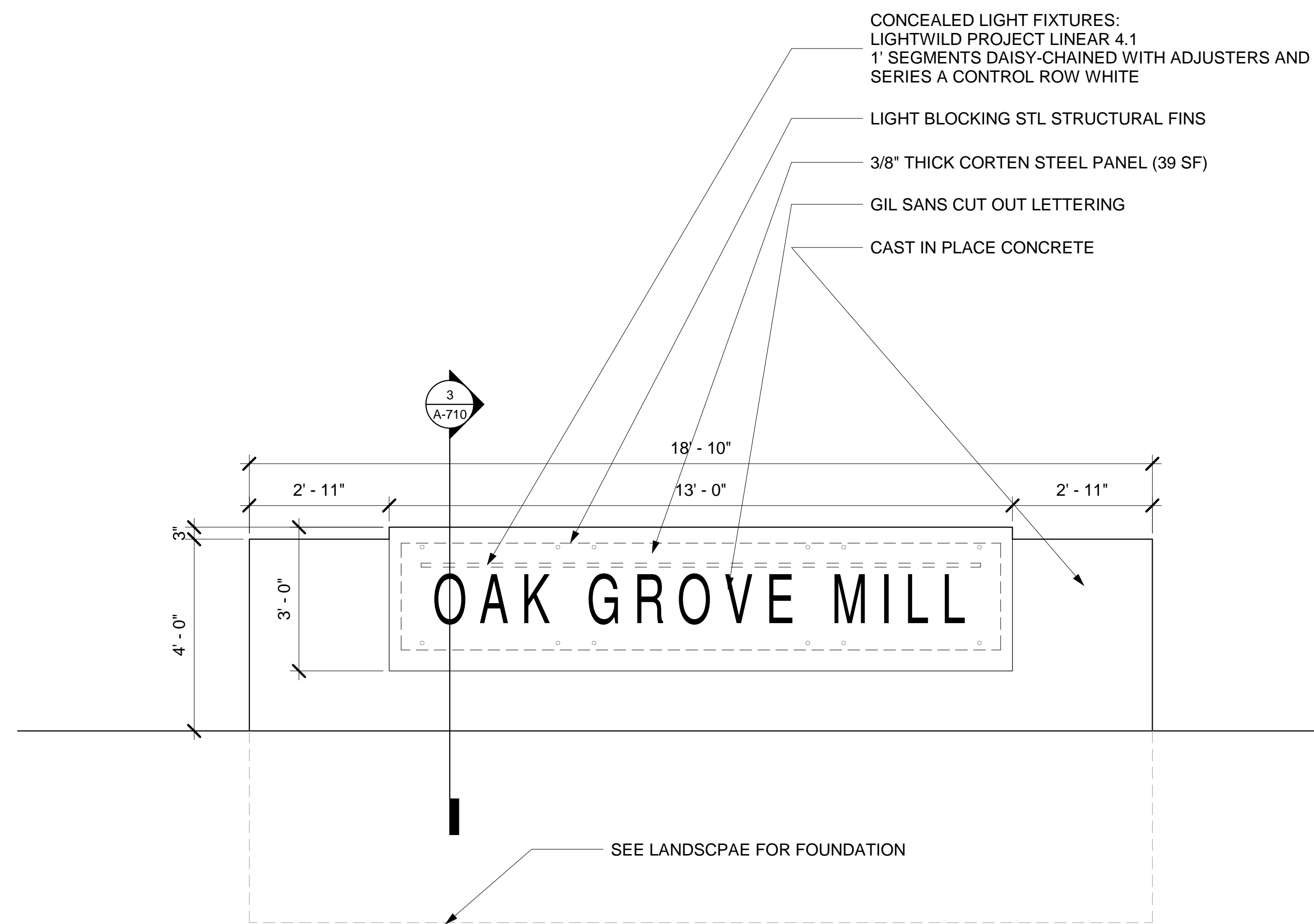
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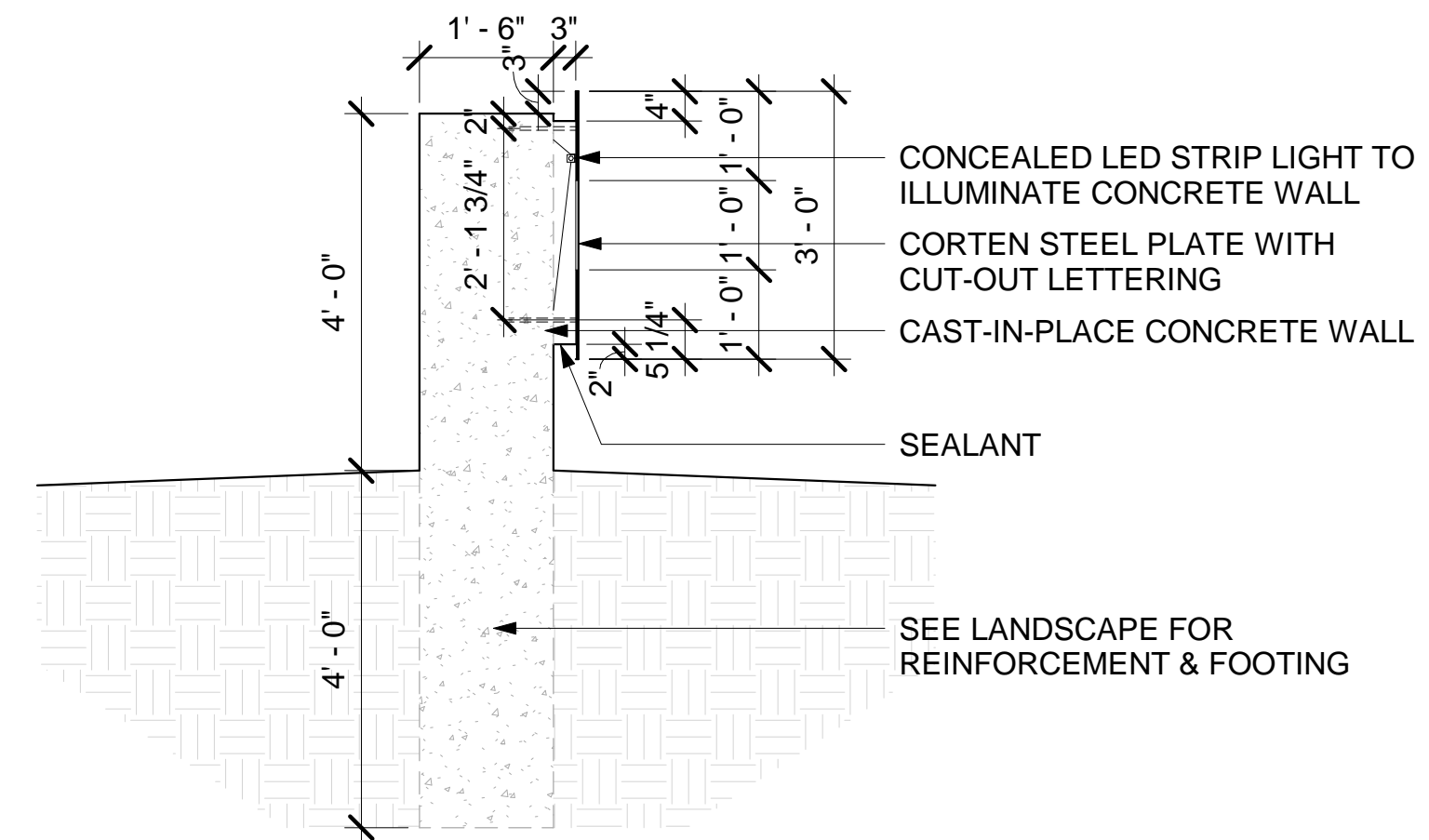
SHEET TITLE

SITE SIGN DETAIL

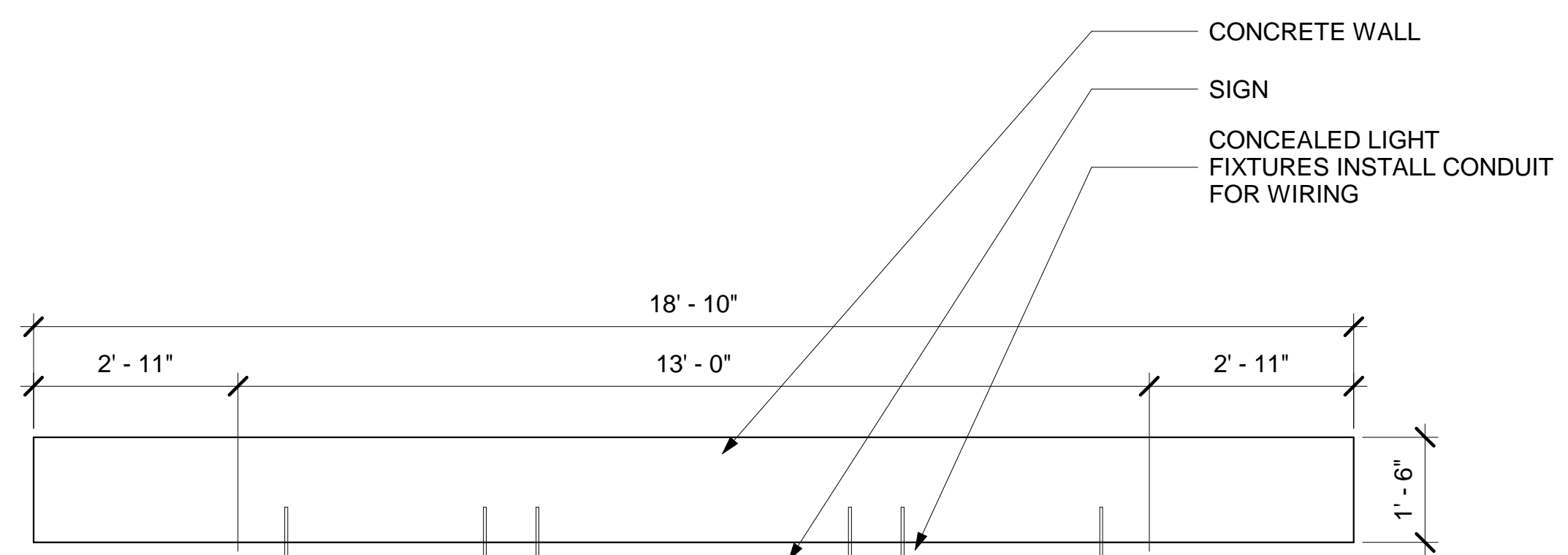
A-710



2 SITE SIGN ELEVATION
1/2" = 1'-0"



3 SITE SIGN SECTION
1/2" = 1'-0"



1 SITE SIGN PLAN
1/2" = 1'-0"



