

SHEET LIST TABLE		
SHEET TITLE	DRAWING	SHEET NUMBER
LOCATION PLAN	C1.1	1
EXISTING CONDITION PLAN	C2.1	2
EXISTING CONDITION PLAN	C2.2	3
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GRADING & DRAINAGE PLAN	C3.2	5
UTILITY PLAN	C4.1	6
UTILITY PLAN	C4.2	7
LAYOUT PLAN	C5.1	8
LAYOUT PLAN	C5.2	9
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LANDSCAPE PLAN	L1.1	1
LANDSCAPE PLAN	L1.2	2

ZONING DISTRICT: EXTENSIVE BUSINESS (BB-1)		
CATEGORY	REQUIRED/ALLOWED	PROVIDED
MINIMUM LOT AREA	10,000 ft ²	32,148 ft ²
MINIMUM LOT FRONTAGE	100 ft.	364.12 ft.
MINIMUM LOT DEPTH	90 ft.	92 ft.
MINIMUM FRONT SETBACK	10 ft.	8.2 ft.
MINIMUM SIDE SETBACK	12 ft.	1.9 ft.
MINIMUM REAR SETBACK	15 ft.	2.4 ft.
MAXIMUM HEIGHT	30 ft.	61.33 ft.
MAXIMUM STORIES	2	5
MAXIMUM COVERAGE (BUILDING)	60%	72.5%
MAXIMUM FLOOR AREA RATIO	0.75	2.84
MINIMUM OPEN SPACE	20%	17.4%

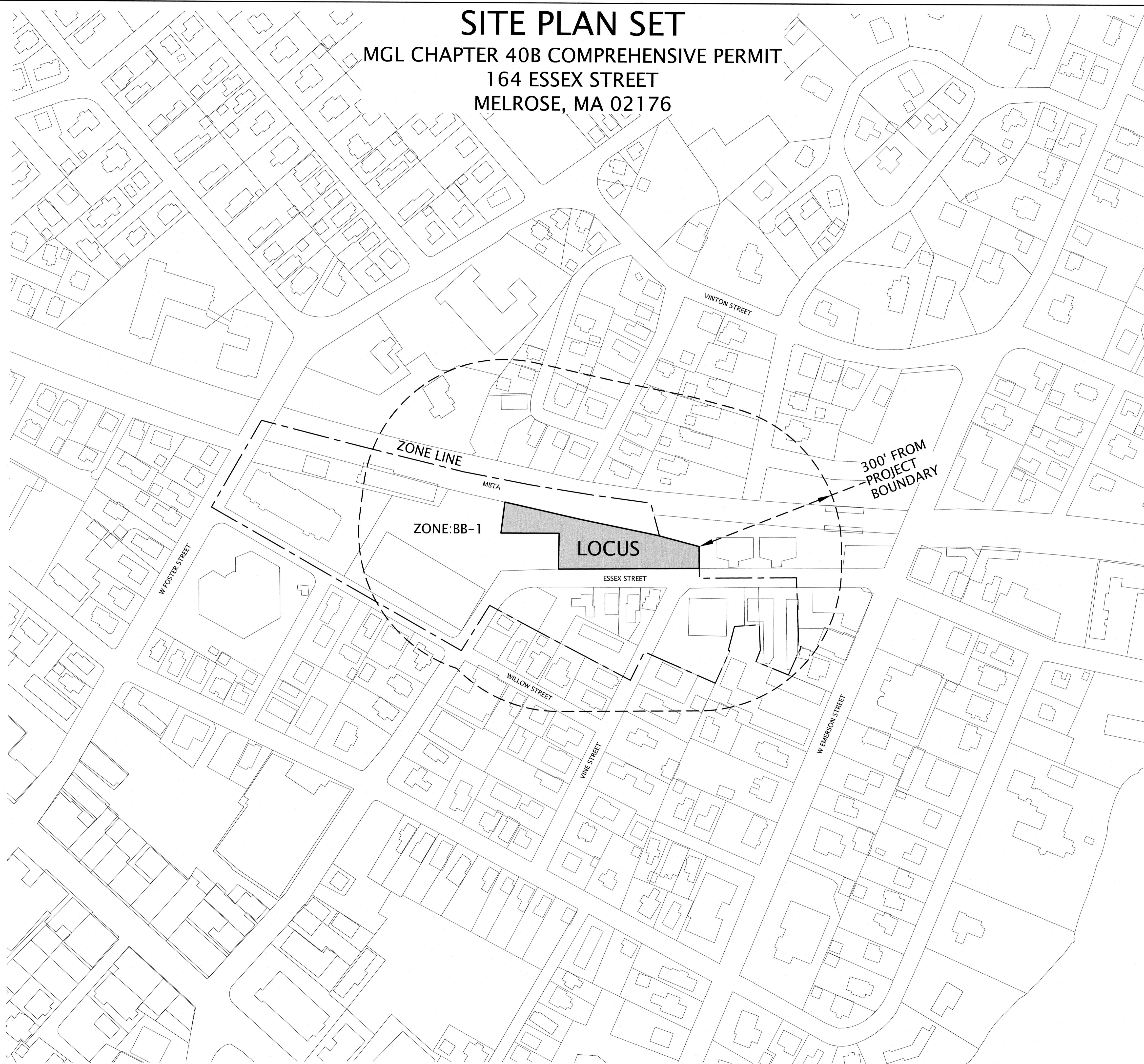
OWNER:
 LG REALTY, LLC
 100 COTTAGE STREET
 MELROSE, MA 02176

APPLICANT:
 CEDAR PARK DEVELOPMENT, LLC
 142 HAGGETT'S POND ROAD
 ANDOVER, MA 01841

PARCEL INFORMATION:
 ADDRESS: 164 ESSEX STREET, MELROSE, MA
 ASSESSORS: C8 0 4

DEED REFERENCES (MIDDLESEX SOUTH REGISTRY OF DEEDS):
 BOOK 31303 PAGE 304

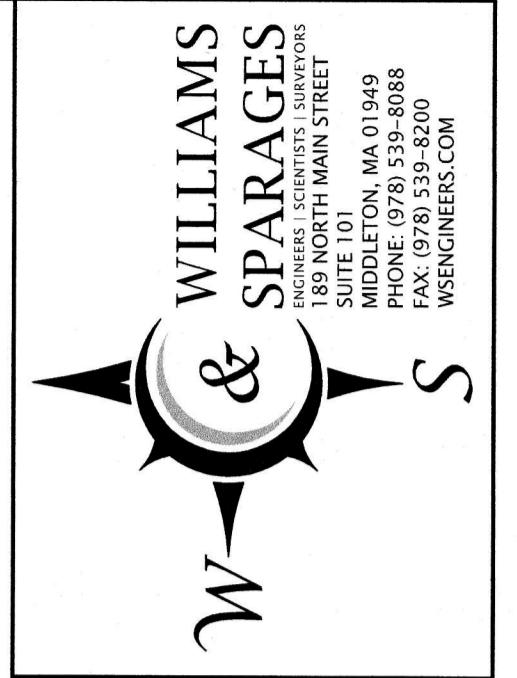
- PROJECT NOTES:
- TOPOGRAPHIC INFORMATION SHOWN IS THE RESULT OF AN INSTRUMENT FIELD SURVEY CONDUCTED BY WILLIAMS & SPARAGES, LLC IN JUNE THROUGH AUGUST 2023 AND FROM A PLAN TITLED "THE RESIDENCE AT MELROSE STATION REDEVELOPMENT PLANS 0,116,158 AND PORTION OF 148-164 ESSEX STREET MELROSE, MASSACHUSETTS" PREPARED BY THE MORIN-CAMERON GROUP, INC. DATED MAY 8, 2015 AND REVISED THROUGH JUNE 15, 2015.
 - TOPOGRAPHIC INFORMATION SHOWN IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25017C0429E, EFFECTIVE DATE: JUNE 4, 2010.
 - PROPERTY DOES LIE WITHIN THE C URBAN RESIDENCE DISTRICT (UR-C).
 - EXISTING UTILITIES SHOWN ARE THE RESULT OF AN INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES LLC. AND FROM PLANS OF RECORD. NO REPRESENTATION OR WARRANTY IS MADE REGARDING THE ACCURACY OF THE LOCATION OR EXISTENCE OF SUBSURFACE UTILITIES AND THOSE UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE.
 - ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
 - IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
 - CONTRACTOR TO CALL DIGSAFE PRIOR TO CONSTRUCTION (411), TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION. DIGSAFE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
 - THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DESIGNED IN ACCORDANCE WITH 248 CMR 10.00: UNIFORM STATE PLUMBING CODE.
 - ALL PROPOSED DRAIN PIPES ARE TO BE HDPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
 - THE INSTALLATION OF DRAINAGE STRUCTURES, ESPECIALLY THE HDPE PIPE AND UNDERGROUND DETENTION SYSTEM, SHALL ADHERE STRICTLY TO THE MANUFACTURERS INSTALLATION REQUIREMENTS TO MEET AASHTO LOADING REQUIREMENTS.
 - WHEREVER FEASIBLE, SEWERS WILL BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN THE SEWER MAIN WILL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE WATER MAIN. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.
 - THE APPLICANT SHALL COORDINATE WITH THE MELROSE WATER DIVISION TO ENSURE PROPER DOMESTIC AND FIRE FLOWS PRIOR TO BUILDING PERMIT.
 - PROPOSED CATCH BASINS TO BE FITTED WITH SILT SACK OR APPROVED EQUAL WHEN INSTALLED AND REMOVED AFTER FINAL PAVEMENT COURSE IS LAID.
 - ALL PROPOSED ELECTRICAL CONNECTIONS SHALL BE UNDERGROUND.



SITE PLAN SET

MGL CHAPTER 40B COMPREHENSIVE PERMIT

164 ESSEX STREET MELROSE, MA 02176

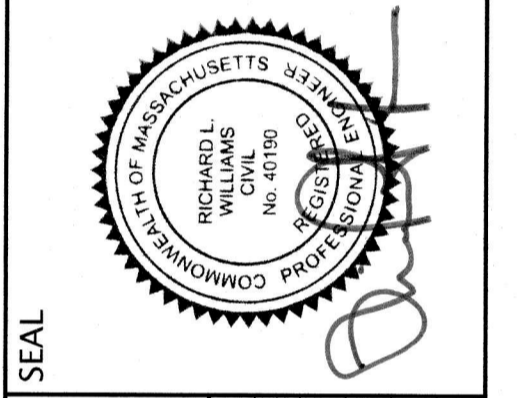


Owner:
 LG Realty, LLC
 100 Cottage Street
 Melrose, MA 02176

Applicant:
 Cedar Park Development, LLC
 142 Haggett's Pond Road
 Andover, MA 01841

Designed By: MEM
 Drawn By: MEM
 Reviewed By: RLW
 Project Manager: RLW
 Job File Number: MELR-0047
 Drawing File Folder: MELR47

Drawing Issued for Review
 Drawing Issued for Permit
 Drawing Issued for Construction



NO.	DATE	DESCRIPTION
12		
11		
10		
9		
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7		

LOCATION PLAN

164 ESSEX STREET, MELROSE, MA

SCALE: 1" = 100'

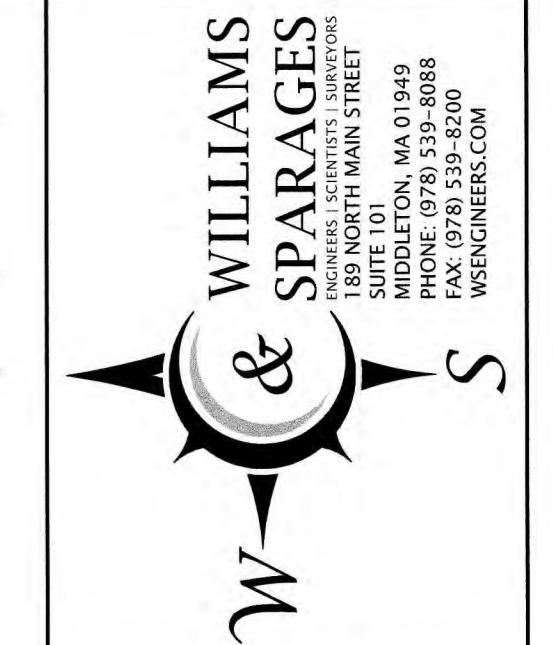
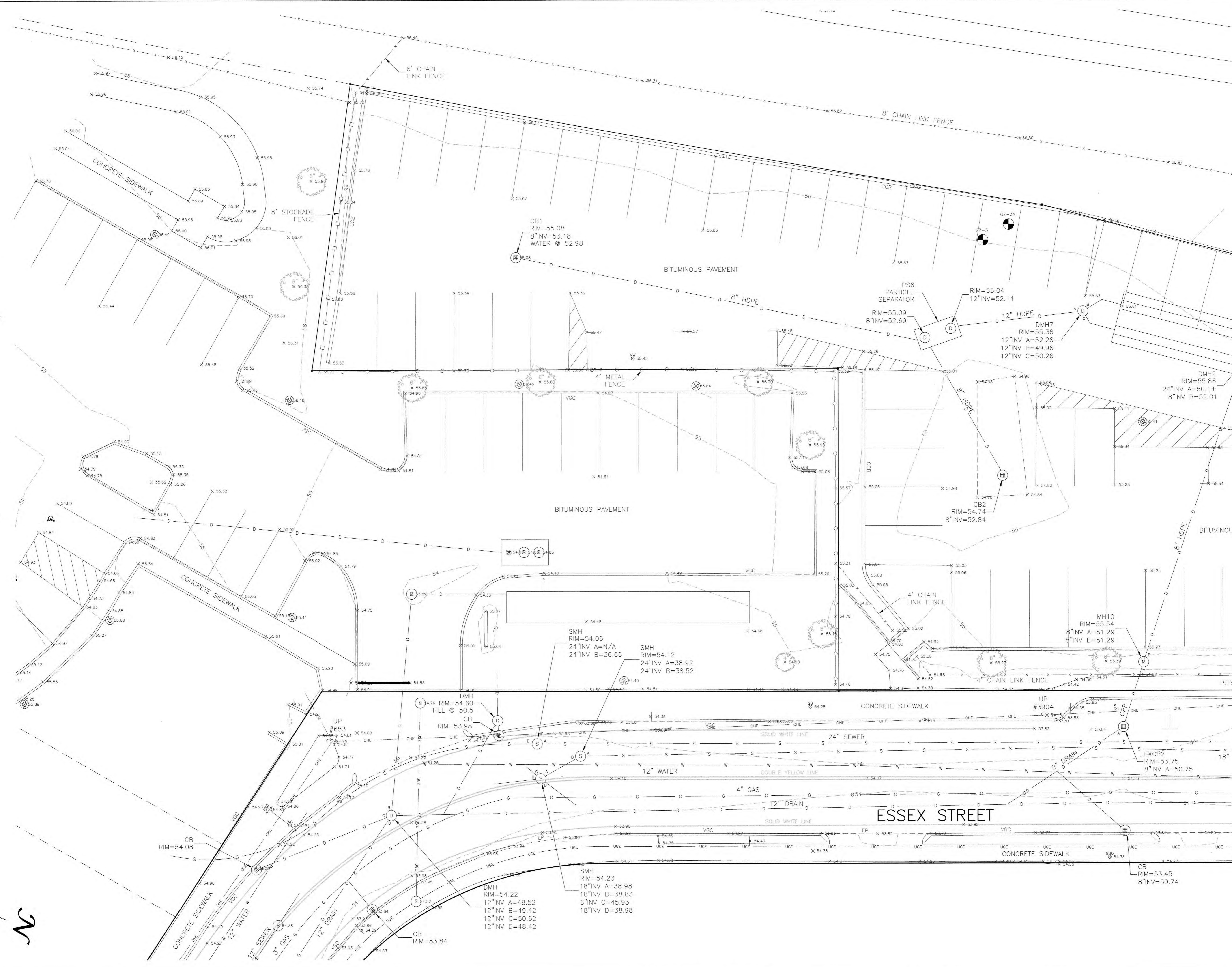
APRIL 10, 2024

DRAWING: C1.1

SHEET 1 OF 11

EXISTING	DESCRIPTION
100.00	CONTOUR
x 100.00	SPOT ELEVATION
D	DRAIN LINE
⊙	DRAIN MANHOLE
⊕ ⊖ ⊗ ⊘	CATCH BASIN
S	SEWER LINE
⊙	SEWER MANHOLE
W	WATER LINE
WG	WATER GATE
WS	WATER SHUTOFF
⊕	HYDRANT
G	GAS LINE
⊕	GAS GATE
⊕	GAS SHUTOFF
⊙	ELECTRIC MANHOLE
⊕	LIGHT
⊕	UTILITY POLE
⊙	TELEPHONE MANHOLE
⊙	MANHOLE
⊙	MONITORING WELL
A	SIGN
— OHE —	OVERHEAD ELECTRIC
— UGE —	UNDERGROUND ELECTRIC
---	EDGE OF PAVEMENT
CC	CURB LINE
CCB	CURB LINE
VGC	CURB LINE
—	RETAINING WALL
⊕	STOCKADE FENCE
x x	CHAIN LINK FENCE
⊕	METAL FENCE
⊕	TREE
⊕	DETECTABLE WARNING SURFACE

ABBREVIATION	DESCRIPTION
UP	UTILITY POLE
CC	CONCRETE CURB
VGC	VERTICAL GRANITE CURB
CCB	CAPE COD BERM
EP	EDGE OF PAVEMENT
CB	CATCH BASIN
DMH	DRAIN MANHOLE
SMH	SEWER MANHOLE
EMH	ELECTRIC MANHOLE



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 Project Manager: RLW
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SEAL

12
11
10
9
8
7

EXISTING CONDITION PLAN

164 ESSEX STREET, MELROSE, MA

0' 5' 10' 20'

SCALE: 1"=10'

APRIL 10, 2024

DRAWING: C2.1

SHEET 2 OF 11

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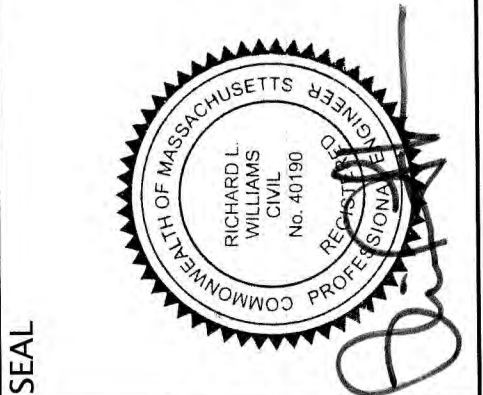


Owner:
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 Melrose, MA 02176

Applicant:
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 142 Hagger's Pond Road
 Andover, MA 01841

Designed By: MEM
 Drawn By: MEM
 Project Manager: RLW
 Job File Number: MELR-0047
 Drawing File Folder: MELR47

Drawing Issued for Review
 Drawing Issued for Permit
 Drawing Issued for Construction



SEAL

12	11	10	9	8	7
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EXISTING CONDITION PLAN

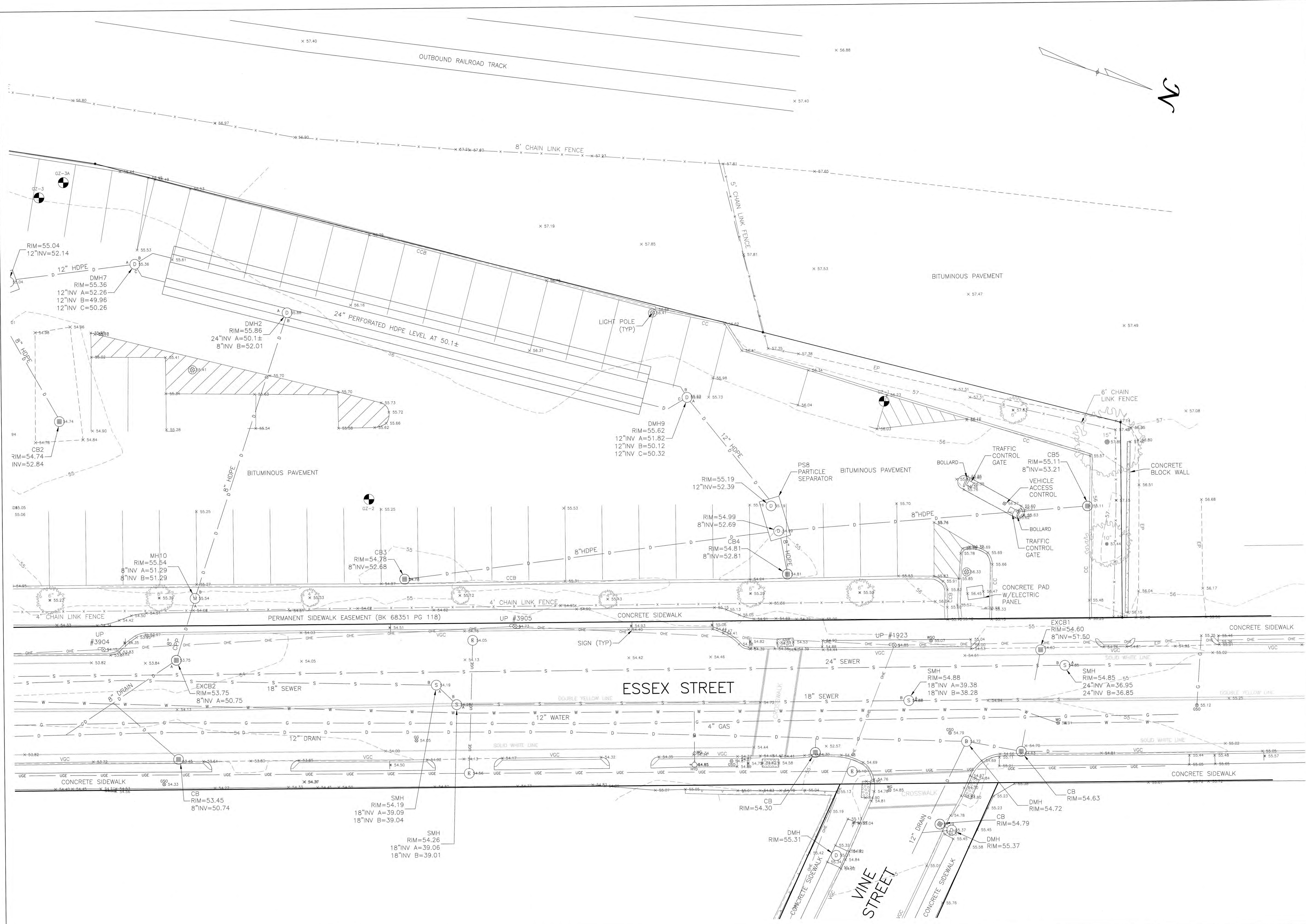
164 ESSEX STREET, MELROSE, MA

0' 5' 10' SCALE: 1"=10'

APRIL 10, 2024

DRAWING: C2.2

SHEET 3 OF 11



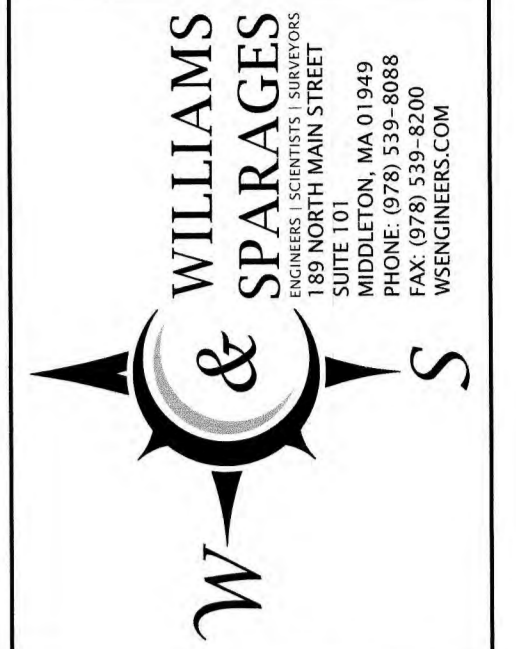
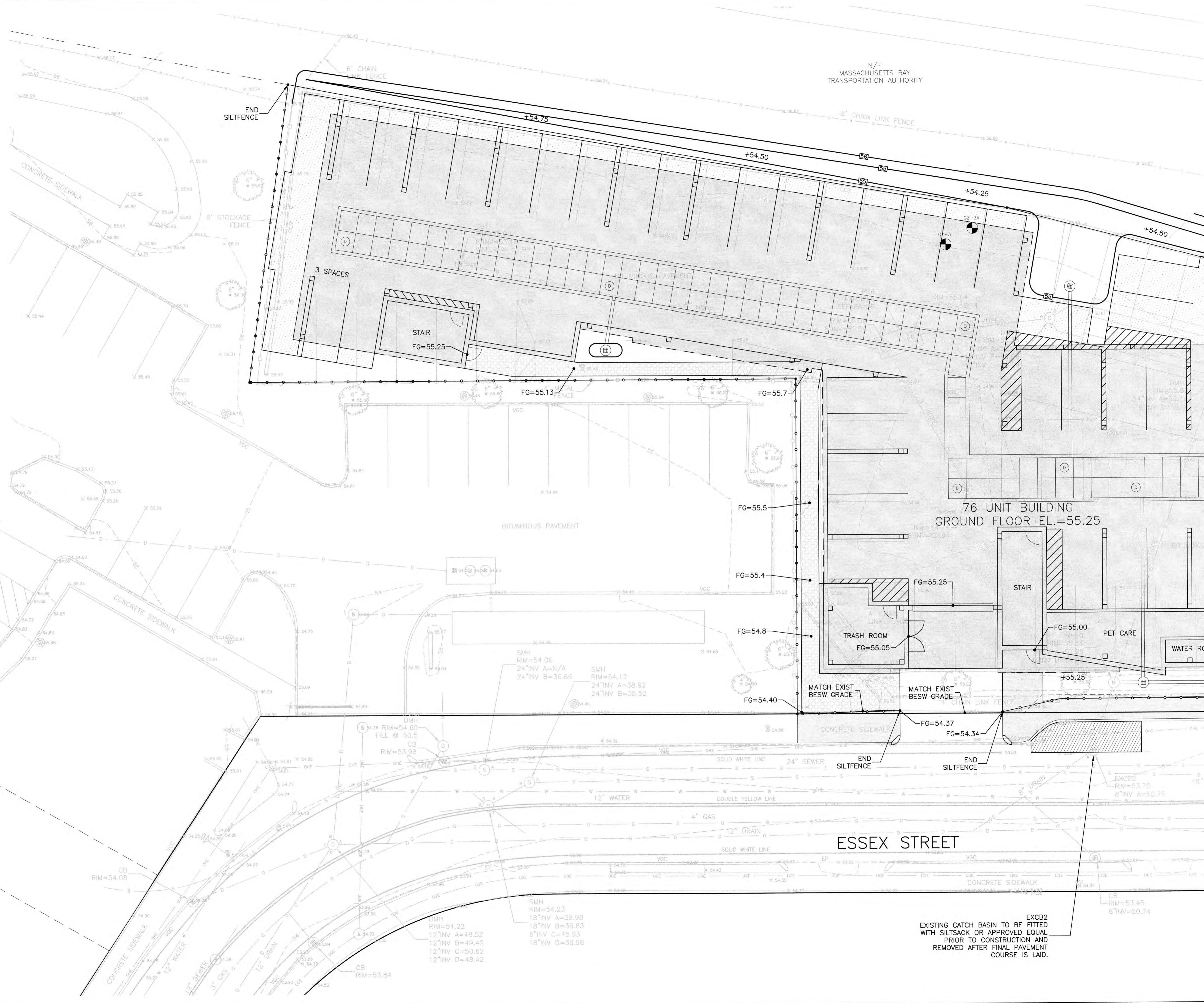
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LEGEND OF SYMBOLS

EXISTING	PROPOSED	DESCRIPTION
100	100	CONTOUR
x 100.00	+100.00	SPOT ELEVATION
D	D	DRAIN LINE
D	D	DRAIN MANHOLE
⊕	⊕	CATCH BASIN
S	S	SEWER LINE
S	S	SEWER MANHOLE
W	WS	WATER LINE
WG	WG	WATER GATE
WSO	WSO	WATER SHUTOFF
H	H	HYDRANT
G	G	GAS LINE
G	G	GAS GATE
G	G	GAS SHUTOFF
E	E	ELECTRIC MANHOLE
L	L	LIGHT
U	U	UTILITY POLE
T	T	TELEPHONE MANHOLE
M	M	MANHOLE
W	W	MONITORING WELL
S	S	SIGN
OHE	OHE	OVERHEAD ELECTRIC
UGE	UGE	UNDERGROUND ELECTRIC
CC	CC	EDGE OF PAVEMENT
CCB	CCB	CURB LINE
VGC	VGC	CURB LINE
EP	EP	CURB LINE
RW	RW	RETAINING WALL
SF	SF	STOCKADE FENCE
CLF	CLF	CHAIN LINK FENCE
MF	MF	METAL FENCE
T	T	TREE
DWS	DWS	DETECTABLE WARNING SURFACE

LEGEND OF ABBREVIATIONS

ABBREVIATION	DESCRIPTION
UP	UTILITY POLE
CC	CONCRETE CURB
VGC	VERTICAL GRANITE CURB
CCB	CAPE COD BERM
EP	EDGE OF PAVEMENT
CB	CATCH BASIN
DMH	DRAIN MANHOLE
SMH	SEWER MANHOLE
EMH	ELECTRIC MANHOLE
FG	FINISHED GRADE
BESW	BACK EDGE SIDEWALK



Owner: LG Realty, LLC
 100 Cottage Street
 Melrose, MA 02176

Applicant: Cedar Park Development, LLC
 142 Hagget's Pond Road
 Andover, MA 01841

Designed By: MEM
 Drawn By: MEM
 Reviewed By: RLW
 Project Manager: RLW
 Job File Number: MELR-0047
 Drawing File Folder: MELR47

Drawing Issued for Review
 Drawing Issued for Permit
 Drawing Issued for Construction



GRADING & DRAINAGE PLAN

164 ESSEX STREET, MELROSE, MA

APRIL 10, 2024

SCALE: 1"=10'

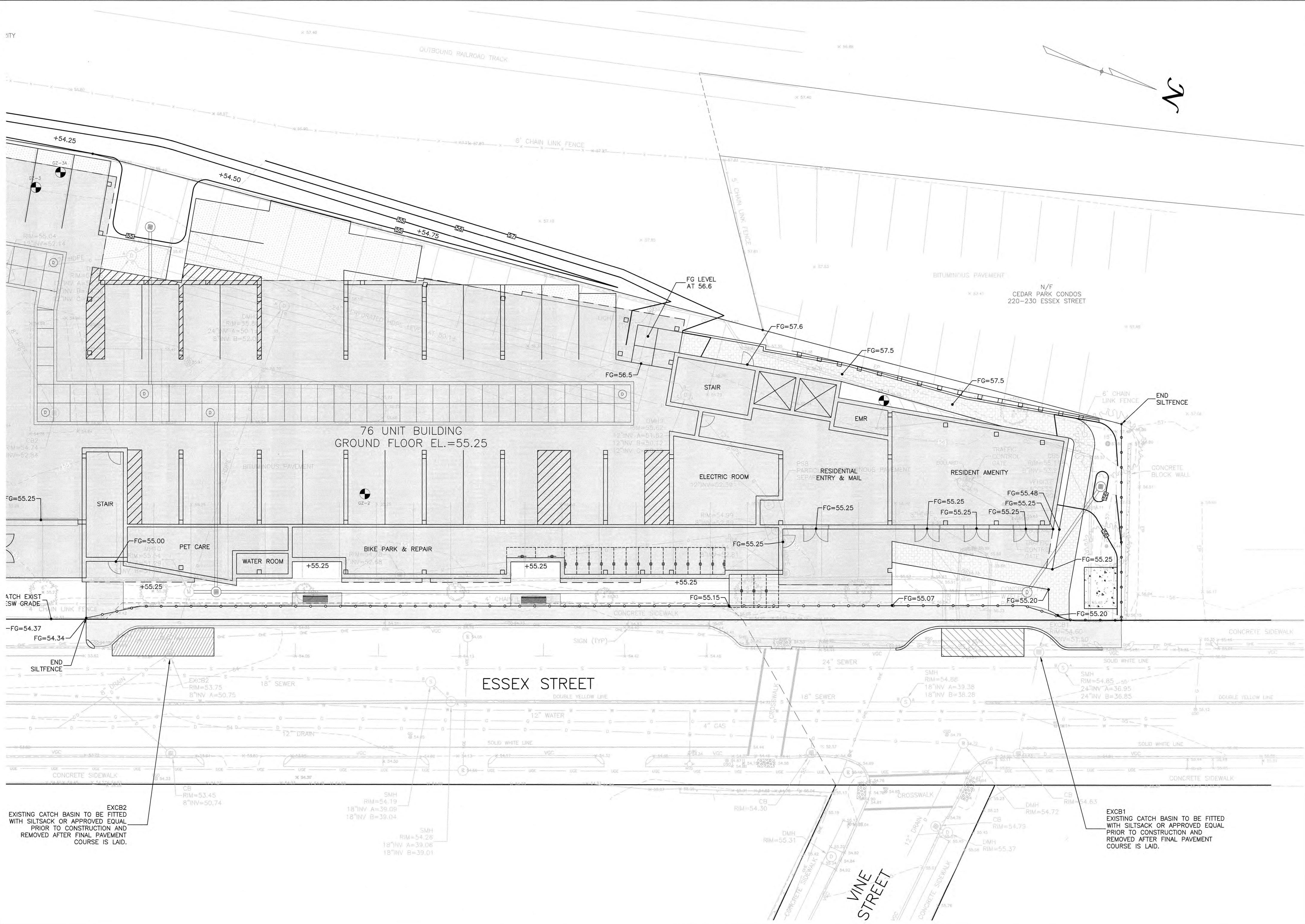
DRAWING: C3.1

SHEET 4 OF 11

12	11	10	9	8	7
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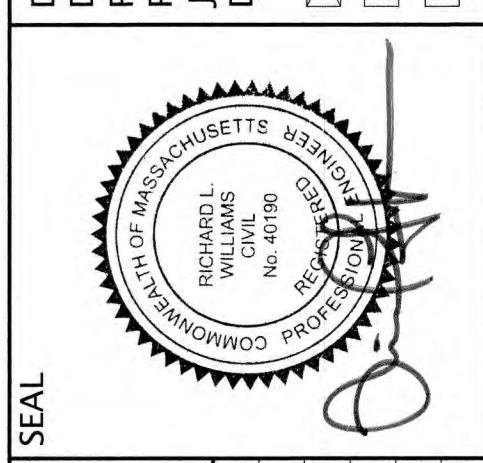
EXISTING CATCH BASIN TO BE FITTED WITH SILTSACK OR APPROVED EQUAL PRIOR TO CONSTRUCTION AND REMOVED AFTER FINAL PAVEMENT COURSE IS LAID.

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Owner: LG Realty, LLC
 100 Cottage Street
 Melrose, MA 02176
 Applicant: Cedar Park Development, LLC
 147 Haugen's Pond Road
 Andover, MA 01841

Designed By: MEM
 Drawn By: MEM
 Project Manager: RLW
 Job File Number: MELR-0047
 Drawing File Folder: MELR47
 Drawing Issued for Review
 Drawing Issued for Permit
 Drawing Issued for Construction



12	11	10	9	8	7
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GRADING & DRAINAGE PLAN
 164 ESSEX STREET, MELROSE, MA
 SCALE: 1" = 10'
 APRIL 10, 2024

DRAWING: C3.2
 SHEET 5 OF 11

P:\MELR-0047\164 Essex Street\Drawings\Passover\164.dwg, 4/11/2024 8:55:31 AM, MEM

EXCB2
 EXISTING CATCH BASIN TO BE FITTED
 WITH SILTSACK OR APPROVED EQUAL
 PRIOR TO CONSTRUCTION AND
 REMOVED AFTER FINAL PAVEMENT
 COURSE IS LAID.

EXCB1
 EXISTING CATCH BASIN TO BE FITTED
 WITH SILTSACK OR APPROVED EQUAL
 PRIOR TO CONSTRUCTION AND
 REMOVED AFTER FINAL PAVEMENT
 COURSE IS LAID.

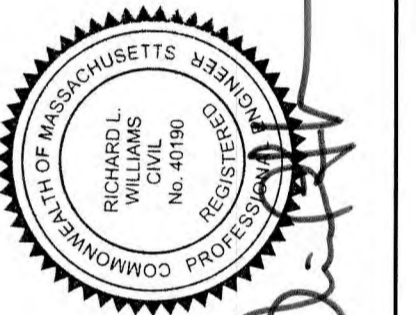


Owner:
LG Realty, LLC
100 Cottage Street
Melrose, MA 02176

Applicant:
Cedar Park Development, LLC
142 Haggert's Pond Road
Andover, MA 01841

Designed By: MEM
Drawn By: MEM
Reviewed By: RLW
Project Manager: RLW
Job File Number: MELR-0047
Drawing File Folder: MELR47

Drawing Issued for Review
 Drawing Issued for Permit
 Drawing Issued for Construction



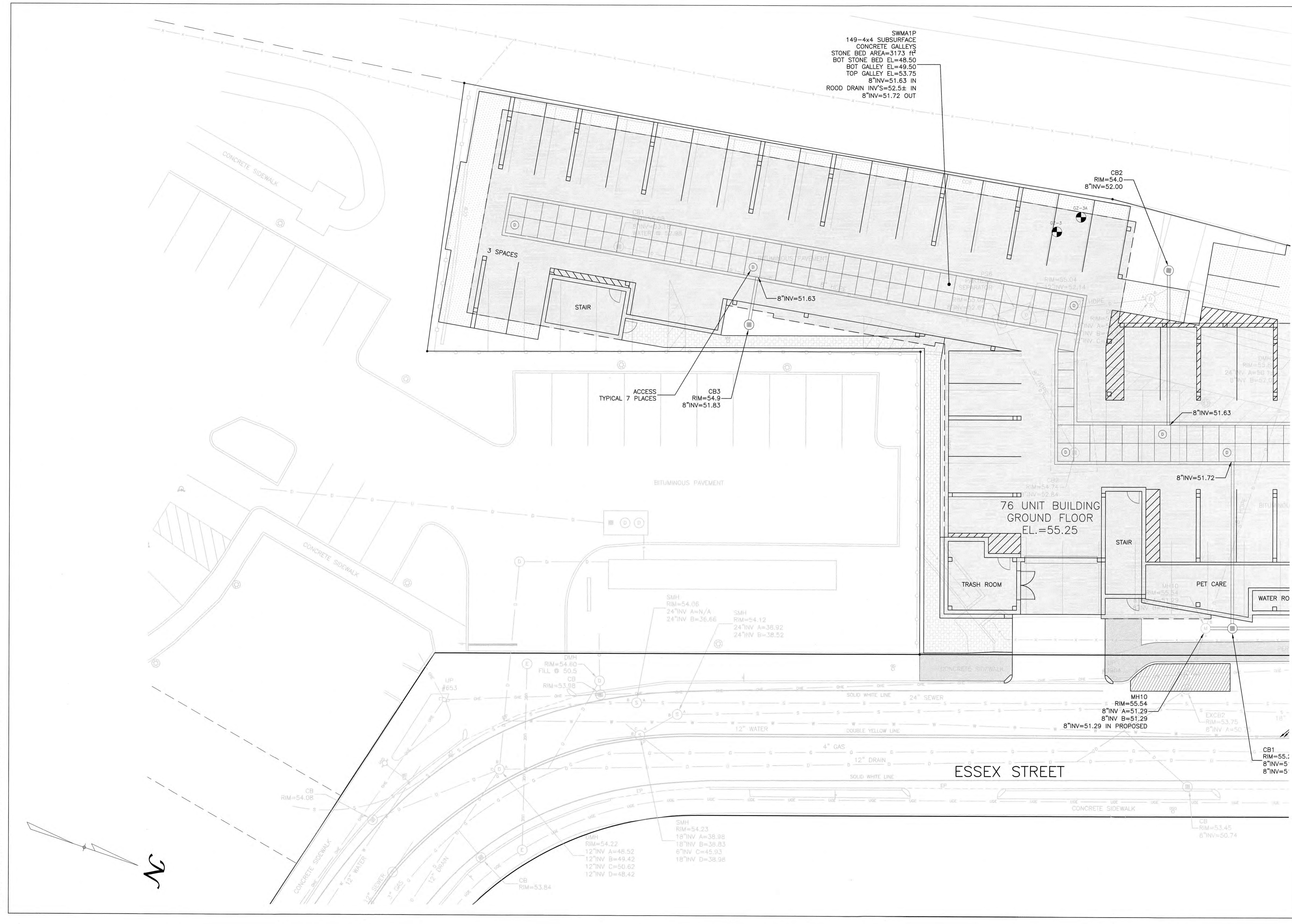
SEAL

12	11	10	9	8	7
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UTILITY PLAN
164 ESSEX STREET, MELROSE, MA

0' 5' 10' 20'
SCALE: 1" = 10'
APRIL 10, 2024

DRAWING: C4.1
SHEET 6 OF 11



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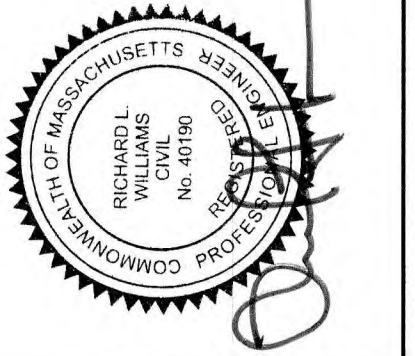


Owner:
 LG Realty, LLC
 100 Cottage Street
 Melrose, MA 02176

Applicant:
 Cedar Park Development, LLC
 142 Haggert's Pond Road
 Andover, MA 01841

Designed By: MEM
 Drawn By: MEM
 Reviewed By: RLW
 Project Manager: RLW
 Job File Number: MELR-0047
 Drawing File Folder: MELR47

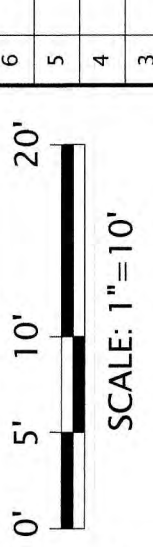
Drawing Issued for Review
 Drawing Issued for Permit
 Drawing Issued for Construction



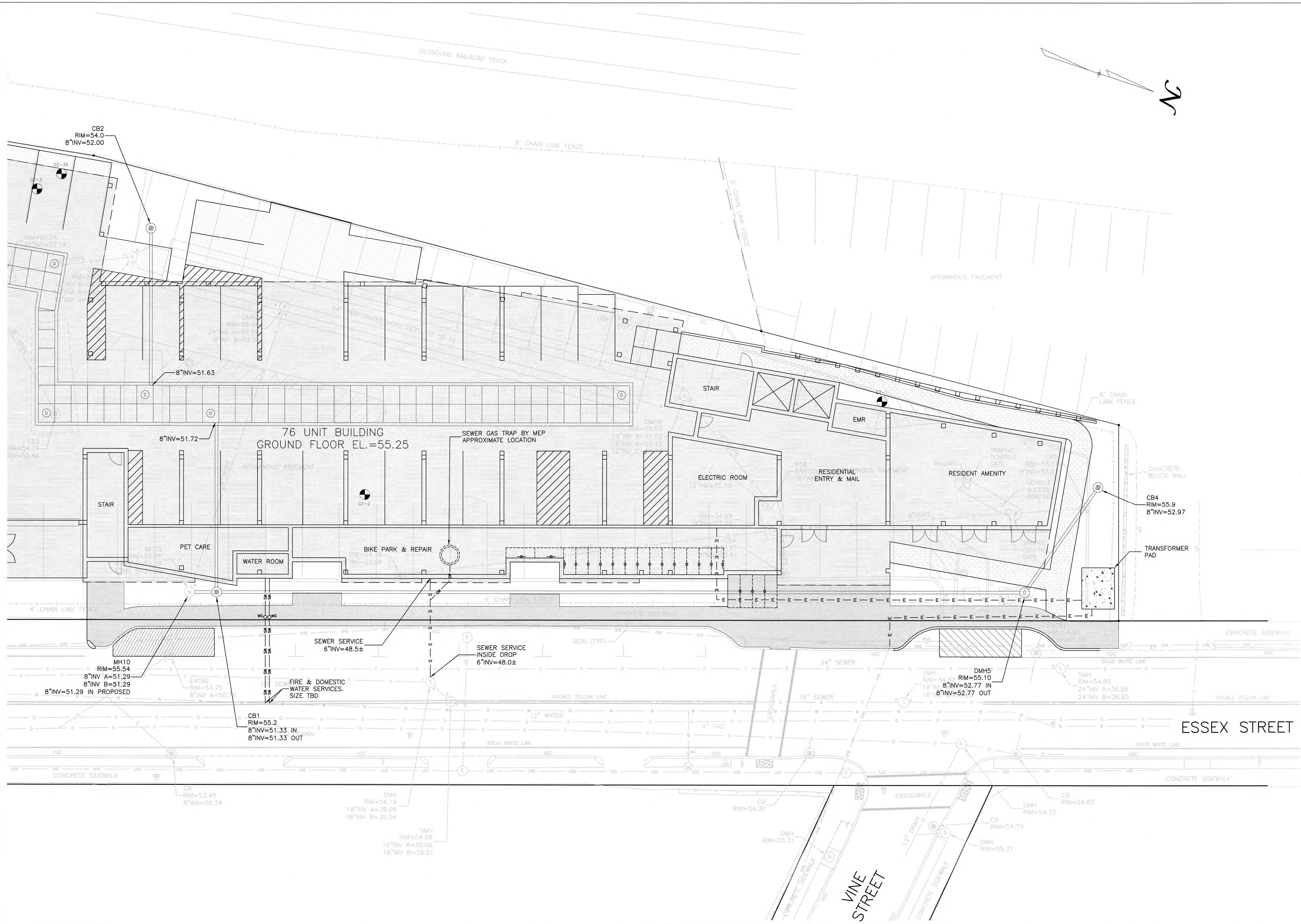
SEAL

UTILITY PLAN

164 ESSEX STREET, MELROSE, MA

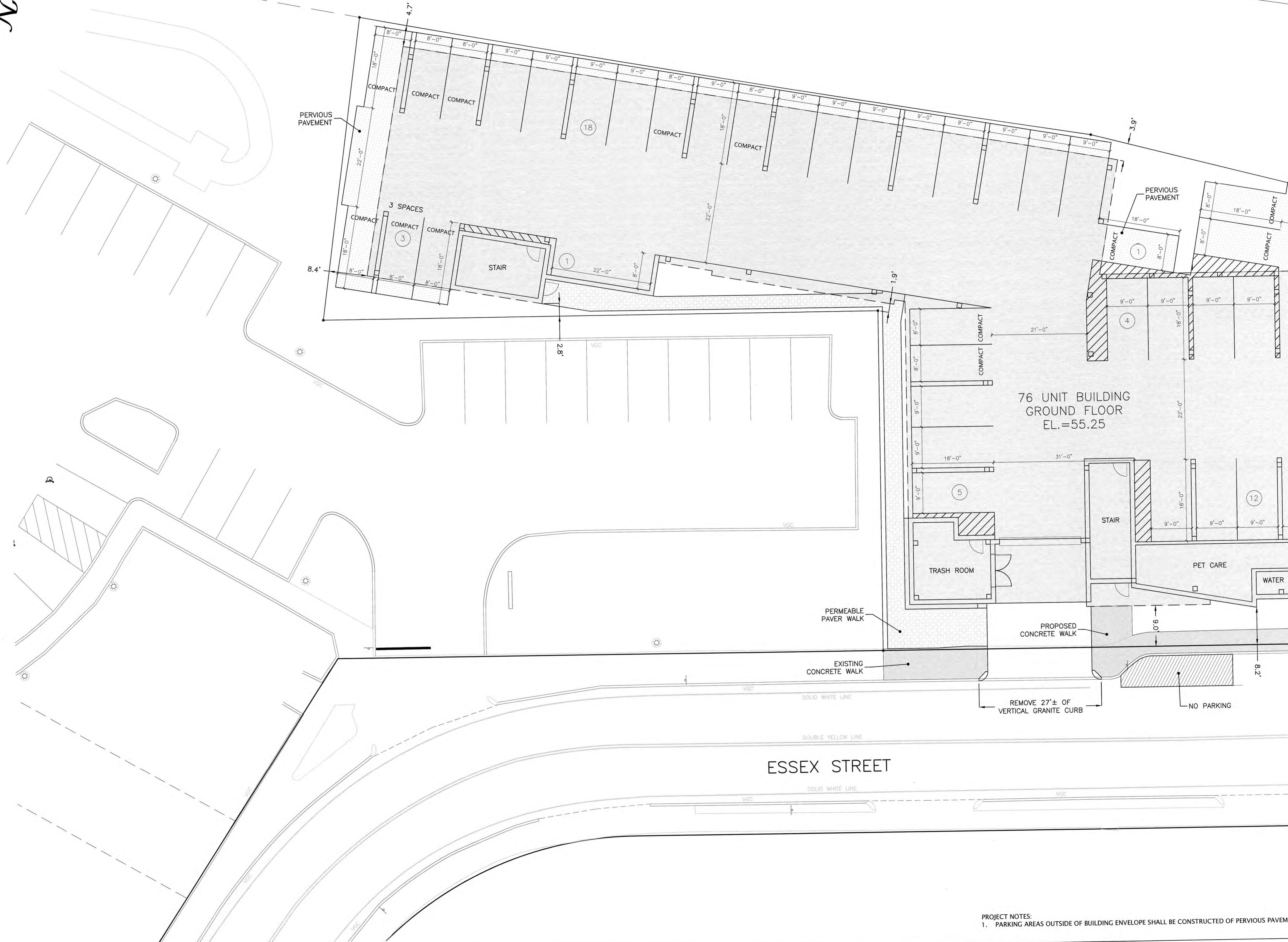


DRAWING: C4.2
 SHEET 7 OF 11
 APRIL 10, 2024



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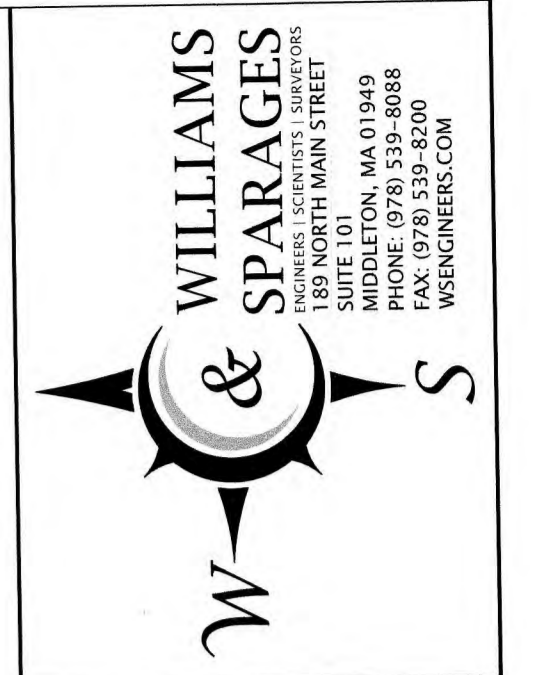
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76 UNIT BUILDING
GROUND FLOOR
EL. = 55.25

ESSEX STREET

PROJECT NOTES:
1. PARKING AREAS OUTSIDE OF BUILDING ENVELOPE SHALL BE CONSTRUCTED OF PERVIOUS PAVEMENT.

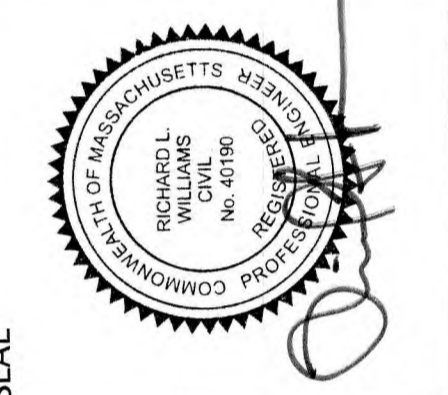


Owner:
LC Realty, LLC
100 Cottage Street
Melrose, MA 02176

Applicant:
Cedar Park Development, LLC
142 Haget's Pond Road
Andover, MA 01841

Designed By: MEM
Drawn By: MEM
Reviewed By: RLW
Project Manager: RLW
Job File Number: MELR-0047
Drawing File Folder: MELR47

Drawing Issued for Review
 Drawing Issued for Permit
 Drawing Issued for Construction

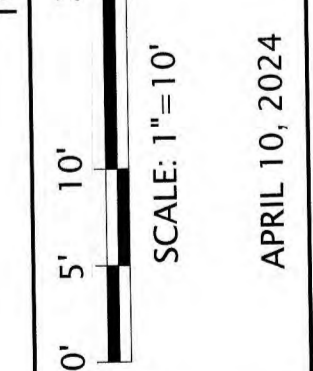


SEAL

LAYOUT PLAN

164 ESSEX STREET, MELROSE, MA

12					
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3					
2					
1					



DRAWING: C5.1
SHEET 8 OF 11
APRIL 10, 2024

PARKING CALCULATIONS TABLE		
CATEGORY	REQUIRED	PROVIDED
MULTIFAMILY DWELLING § 235-65 MULTIFAMILY RESIDENTIAL USE MAY BE AUTHORIZED BY SPECIAL PERMIT (USE 2 SPACES/UNIT)	(2)*(76) = 152	54
TOTAL	152	54
ACCESSIBILITY: 51-75	3	3

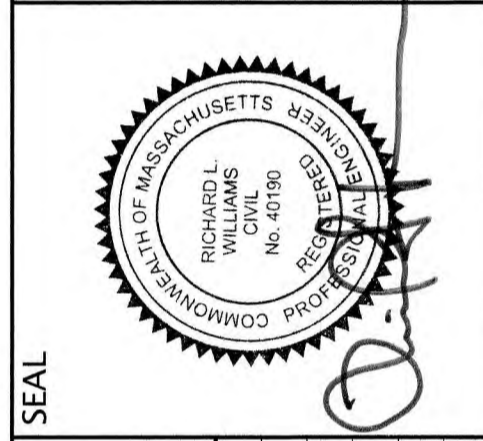


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Melrose, MA 02176

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SEAL

12	11	10	9	8	7
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LAYOUT PLAN

164 ESSEX STREET, MELROSE, MA

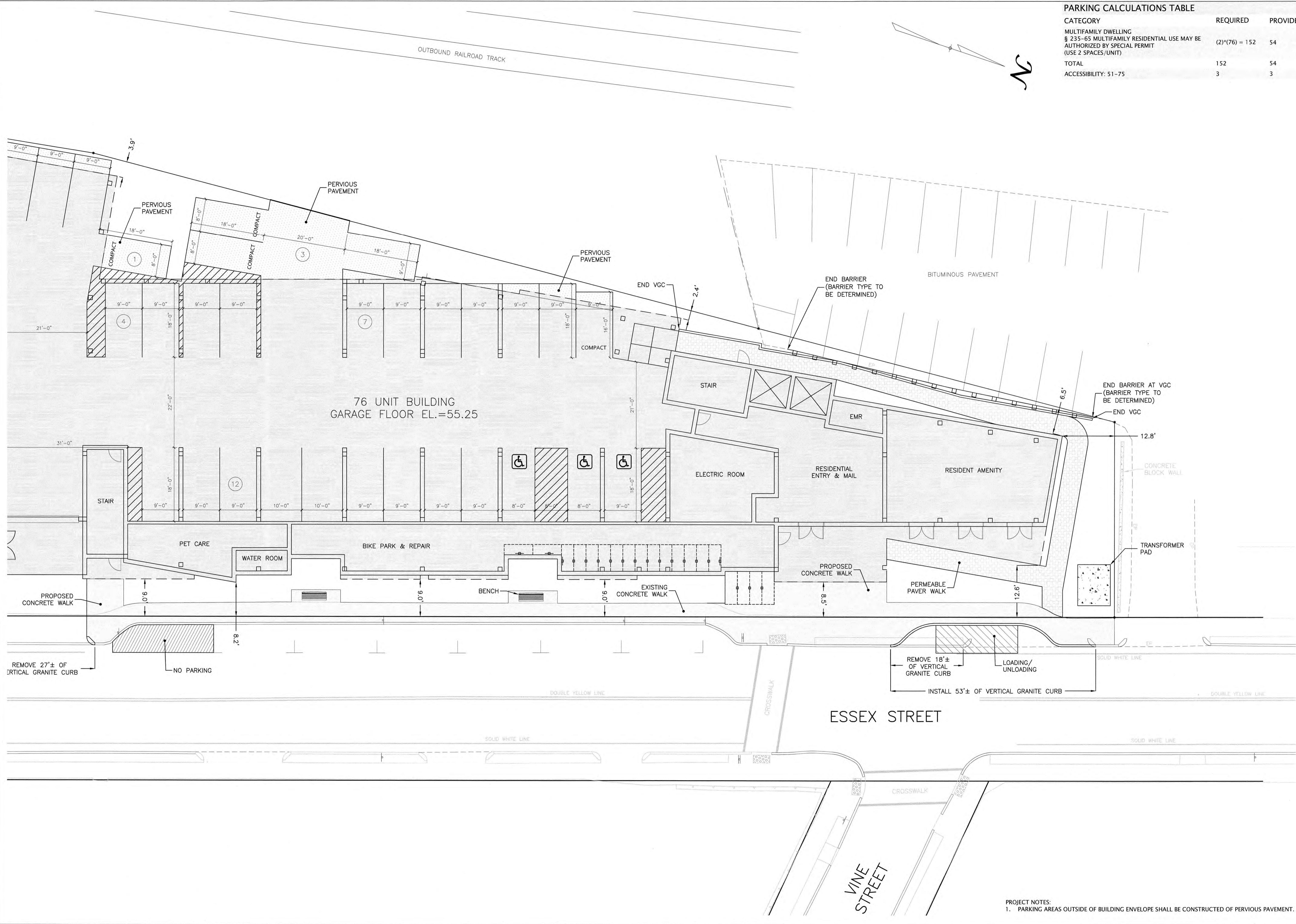
0' 5' 10' 20'

SCALE: 1" = 10'

APRIL 10, 2024

DRAWING: C5.2

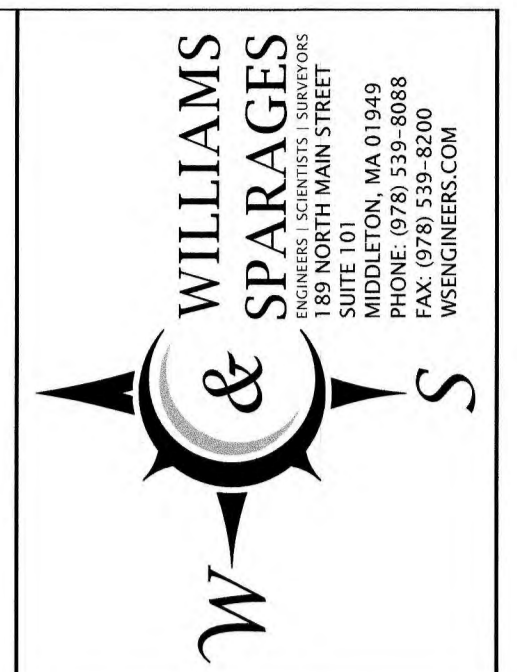
SHEET 9 OF 11



PROJECT NOTES:
1. PARKING AREAS OUTSIDE OF BUILDING ENVELOPE SHALL BE CONSTRUCTED OF PERVIOUS PAVEMENT.

P:\NUMBER 04211054 Essex Street\Drawings\Site\04211054.dwg, 4/11/2024, 8:04:41 AM, MEM

P:\MELR 0047\1048 Essex Street\1048 Essex Street.dwg, 4/10/2024 10:48 AM, MEM

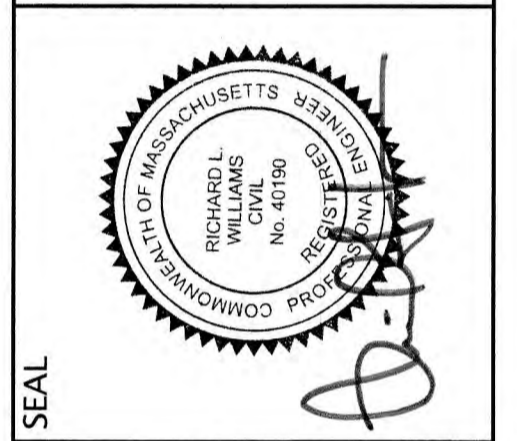


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 Drawing Issued for Construction



SEAL

12	
11	
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9	
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7	

SURVEY PLAN

164 ESSEX STREET, MELROSE, MA

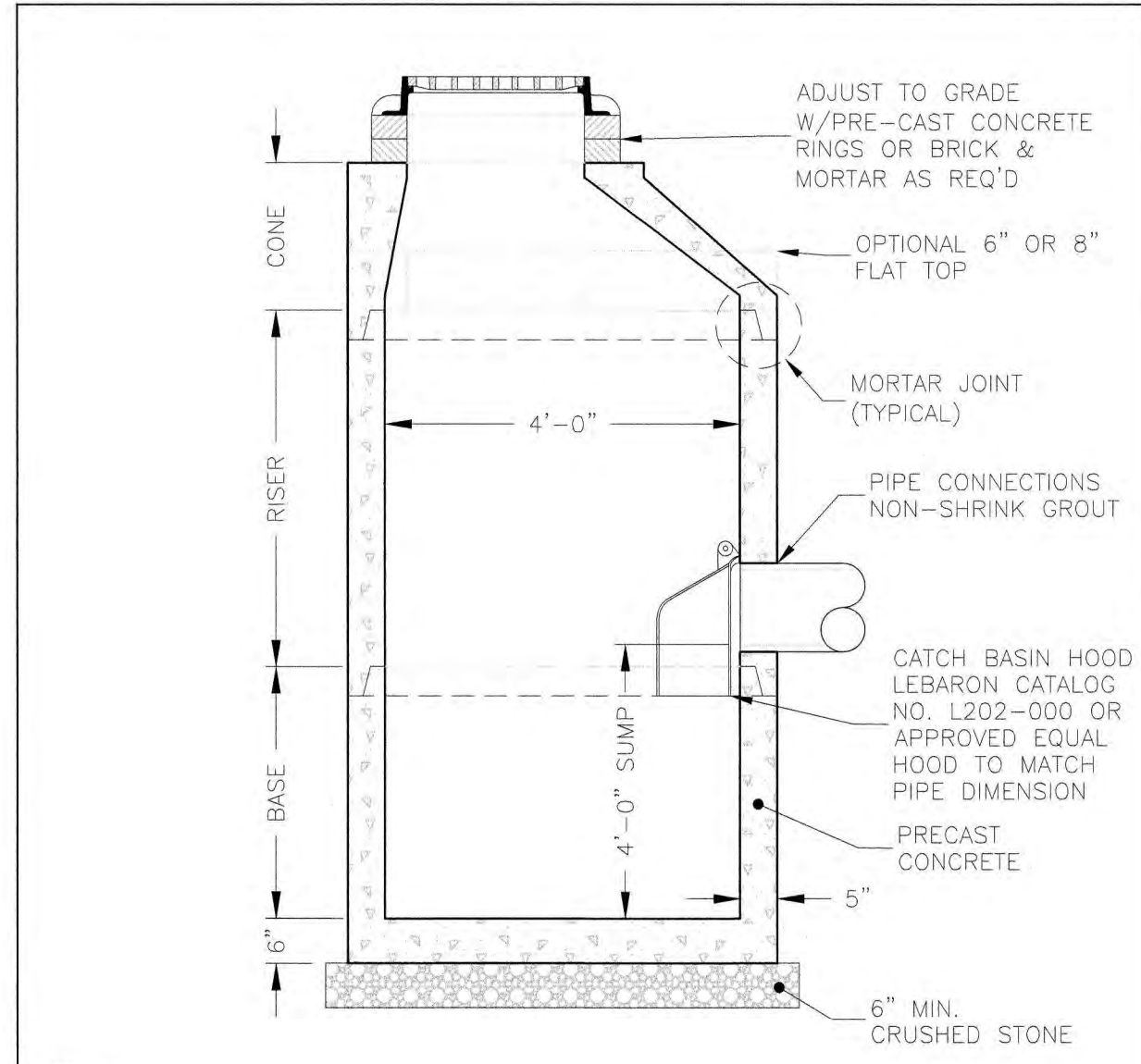
0' 10' 20' 40'

SCALE: 1" = 20'

APRIL 10, 2024

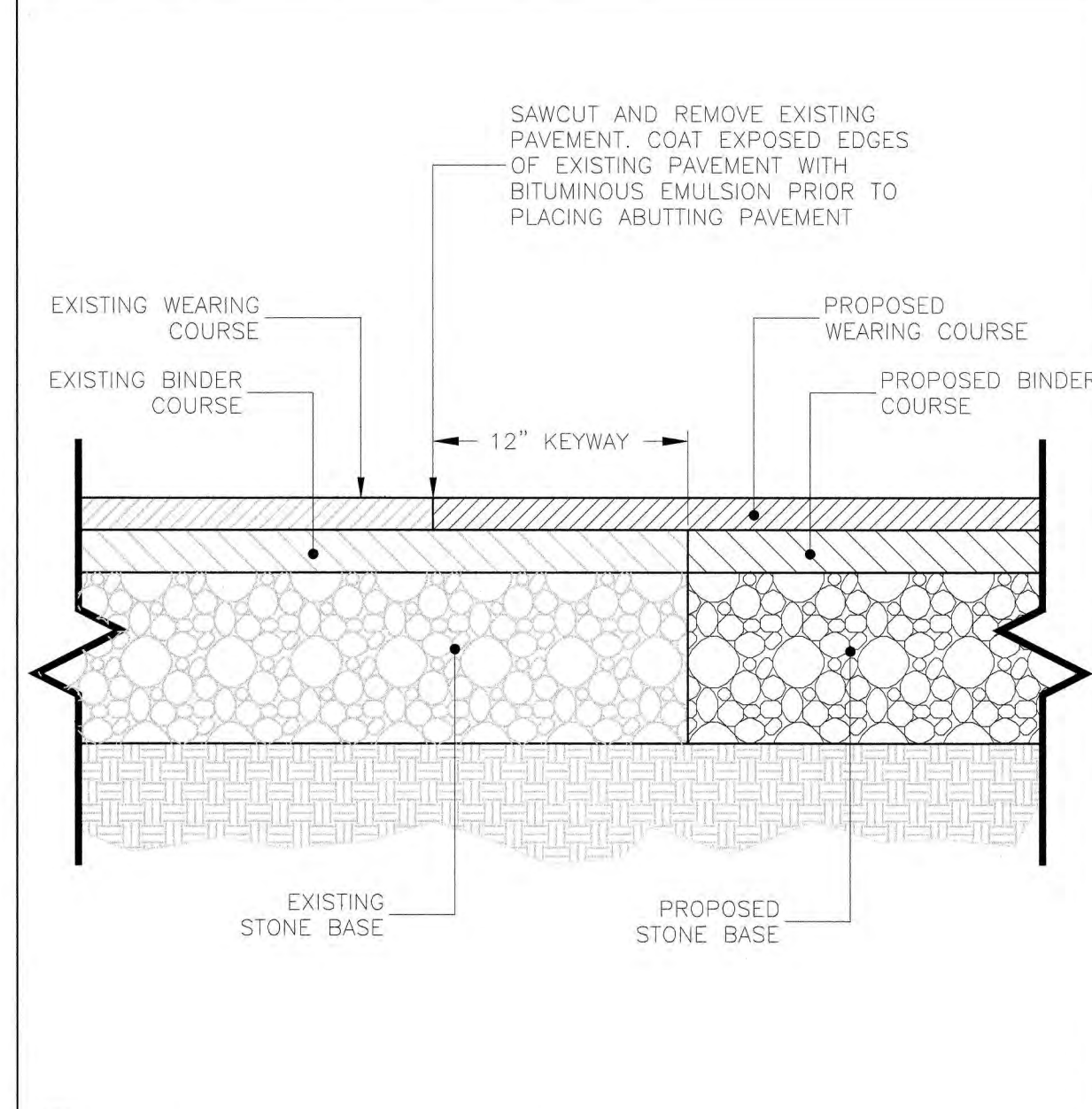
DRAWING: C6.1

SHEET 10 OF 11



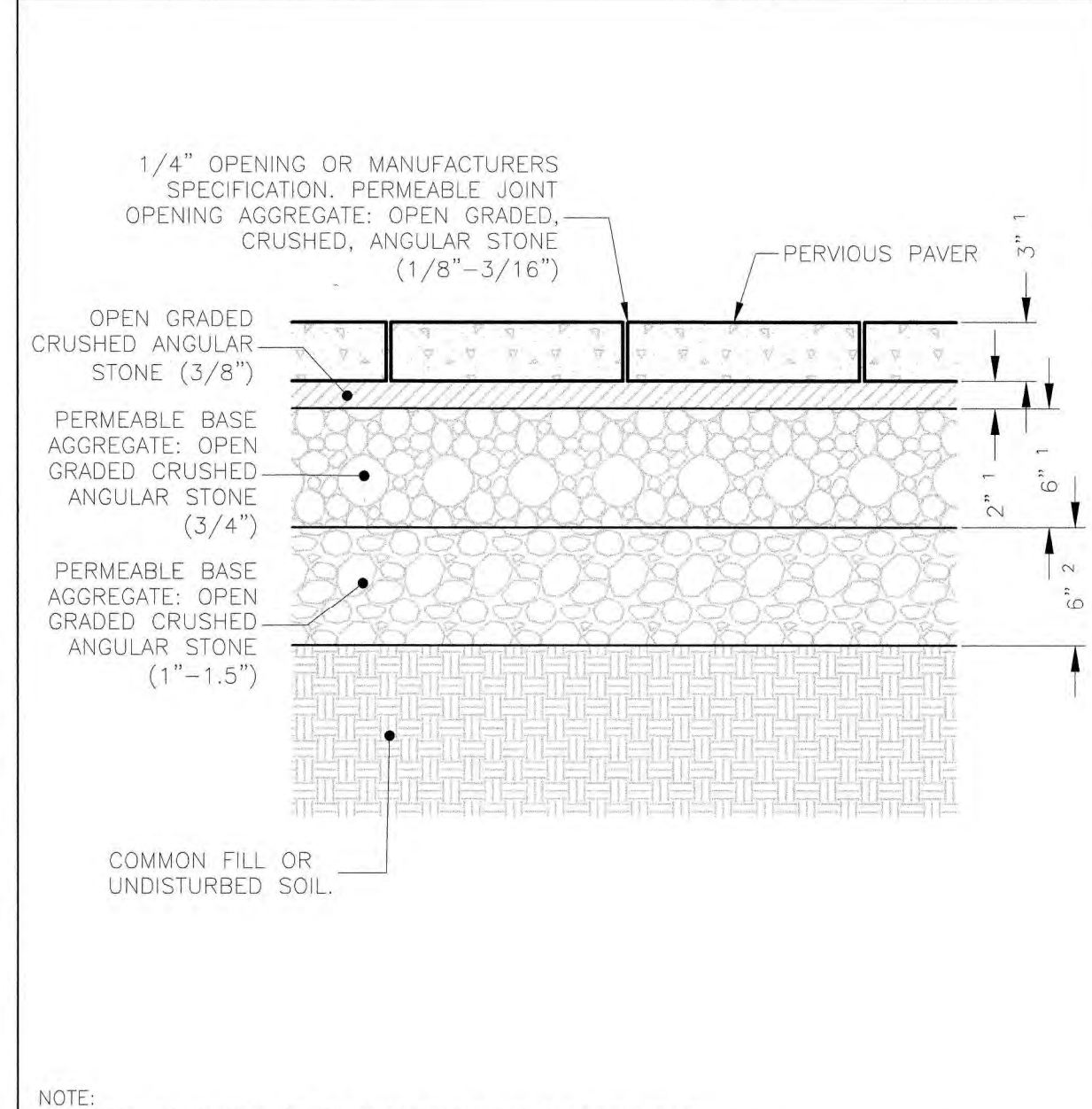
NOTES:
 1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAR FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 3. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."

PRECAST CATCH BASIN
NOT TO SCALE

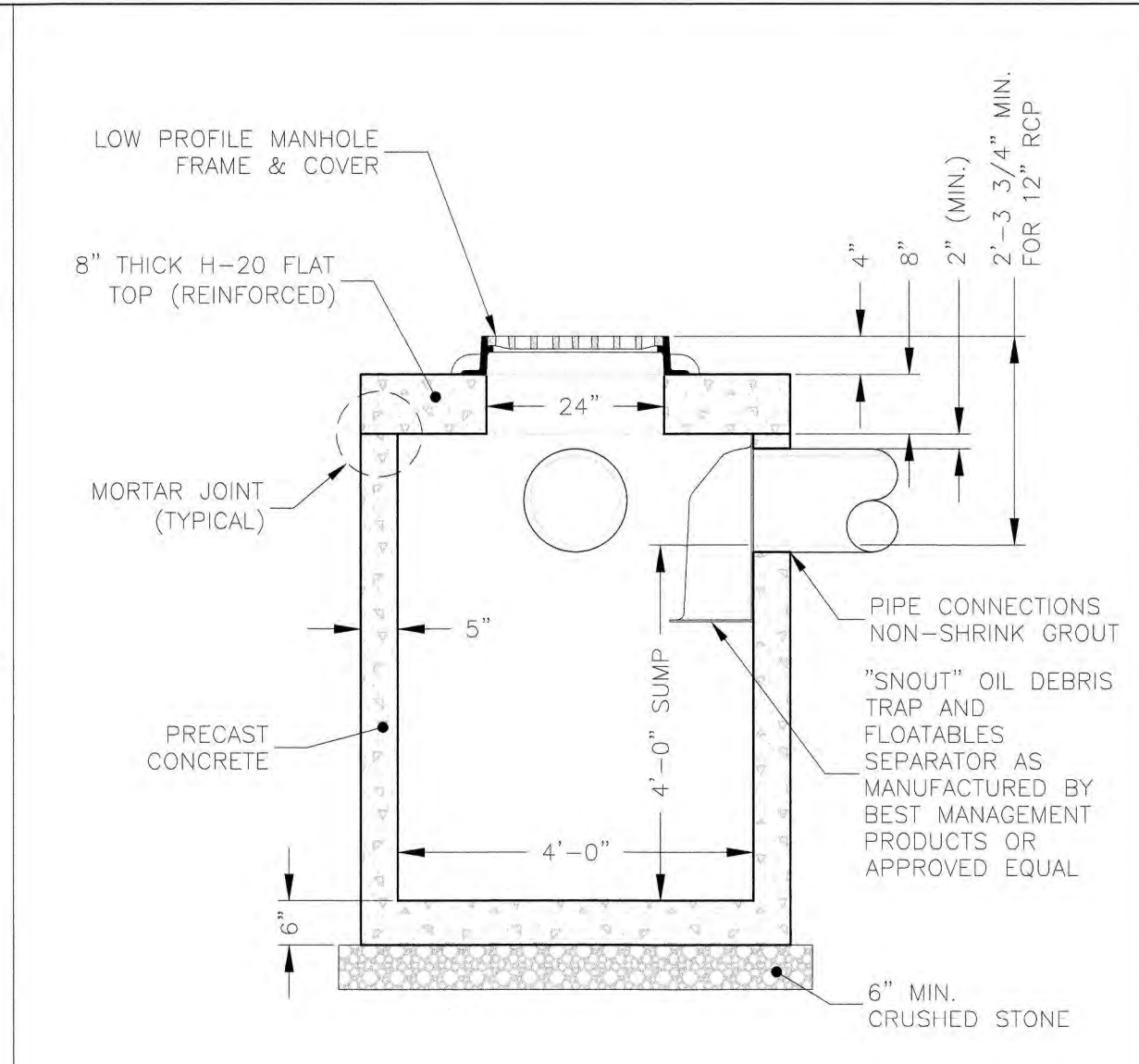


NOTE: THIS PAVEMENT SECTION DETAIL REFLECTS MINIMUM REQUIREMENTS. ENGINEER TO DETERMINE DESIGN BASED ON GEOTECHNICAL DATA.

PAVEMENT KEYWAY
NOT TO SCALE

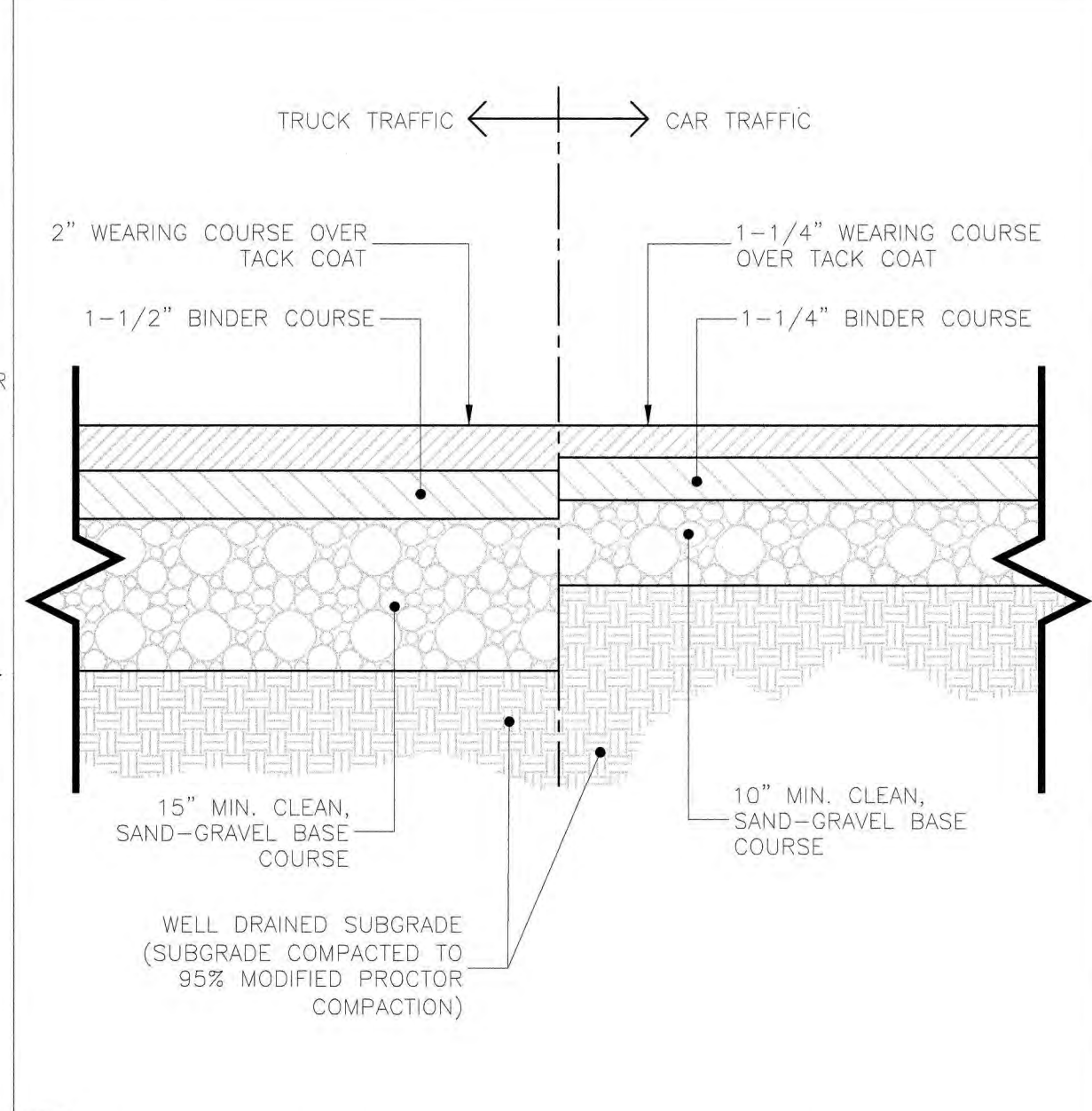


PERVIOUS PAVER SIDEWALK/DRIVEWAY
NOT TO SCALE



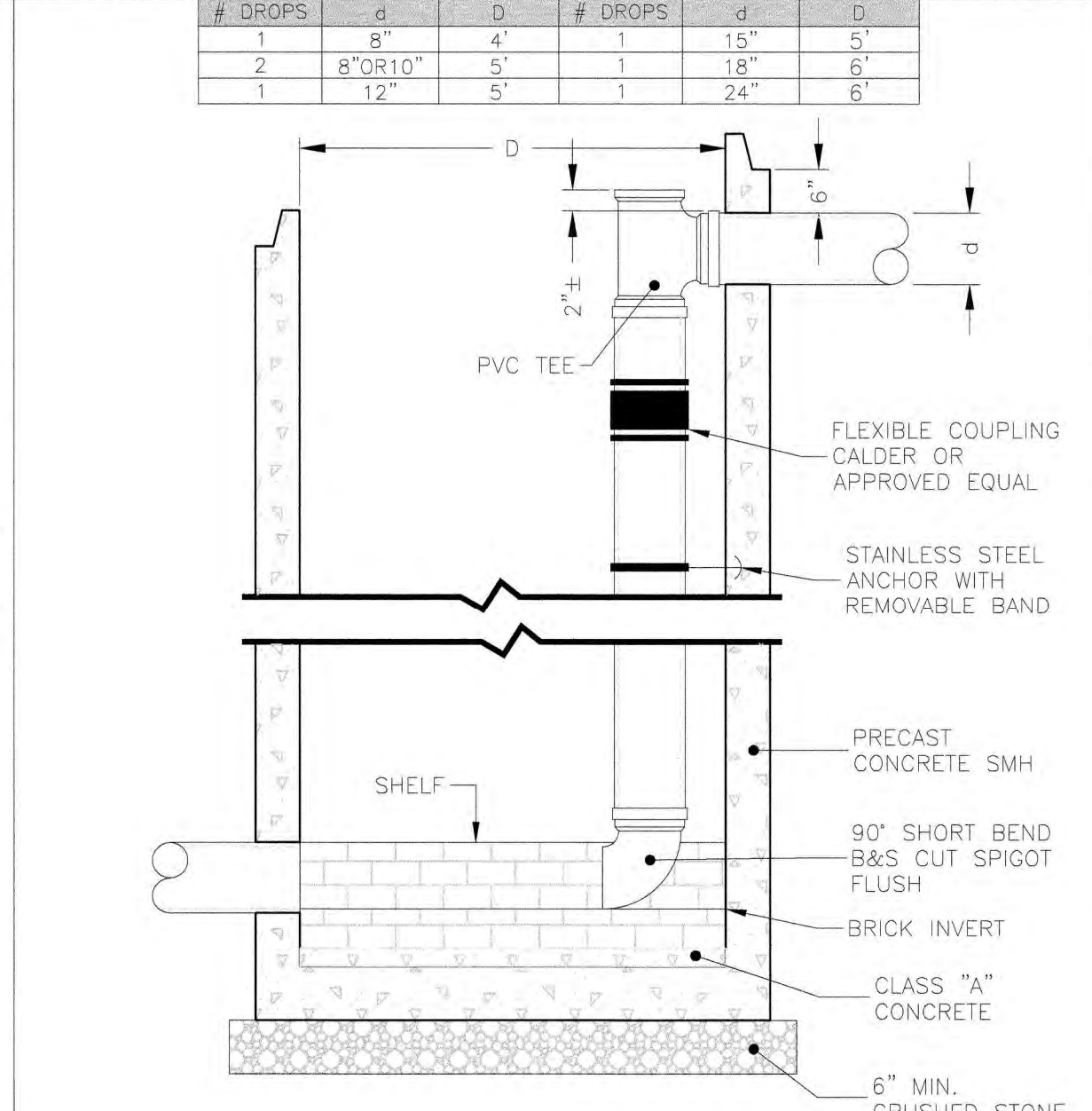
NOTES:
 1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAR FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 3. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."

REDUCED COVER CATCH BASIN
NOT TO SCALE

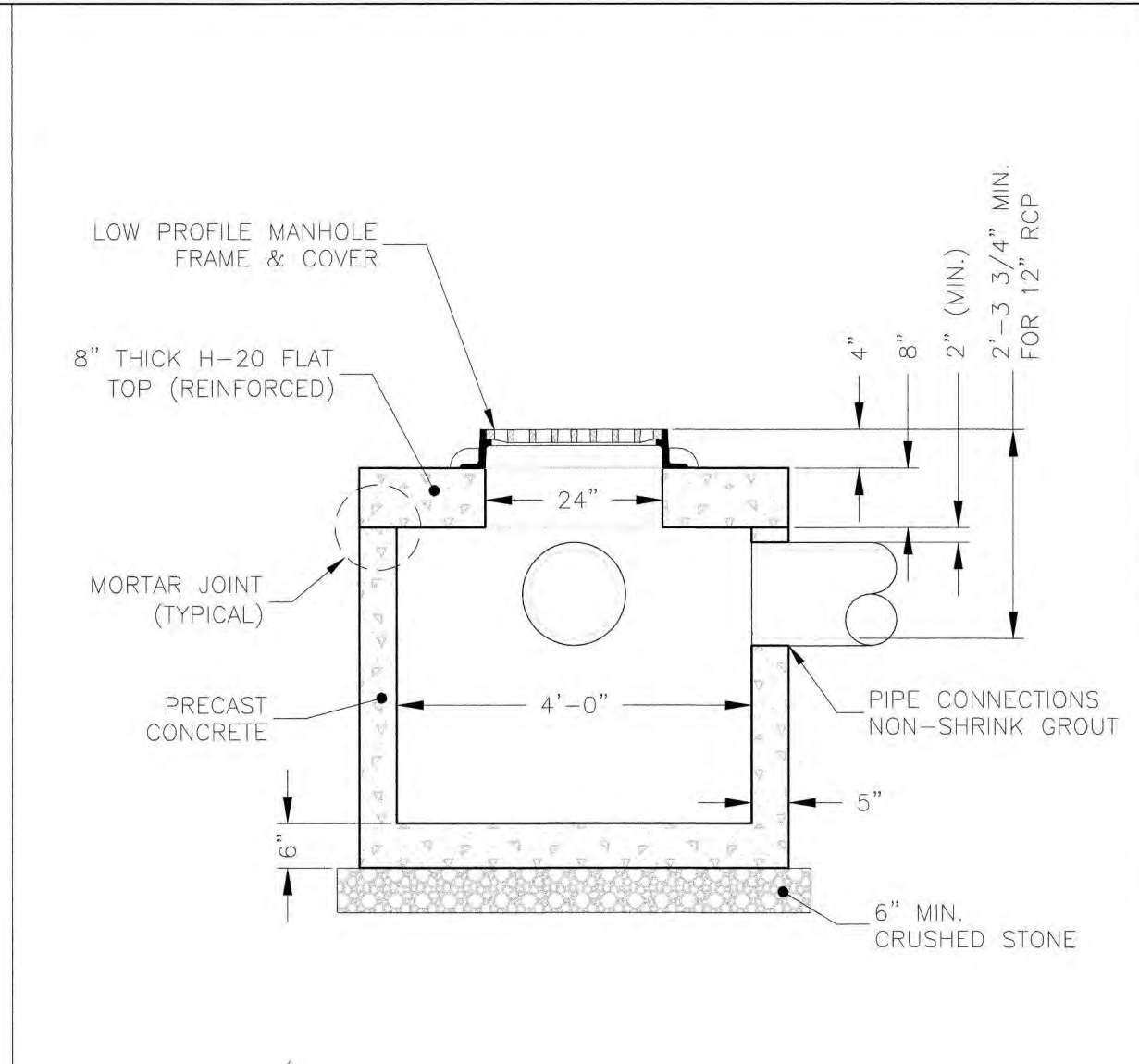


NOTE: PAVEMENT SECTION DESIGN TAKEN FROM GEOTECHNICAL REPORT PREPARED BY G2A GEOTECHNICAL, INC.

PAVEMENT SECTION
NOT TO SCALE

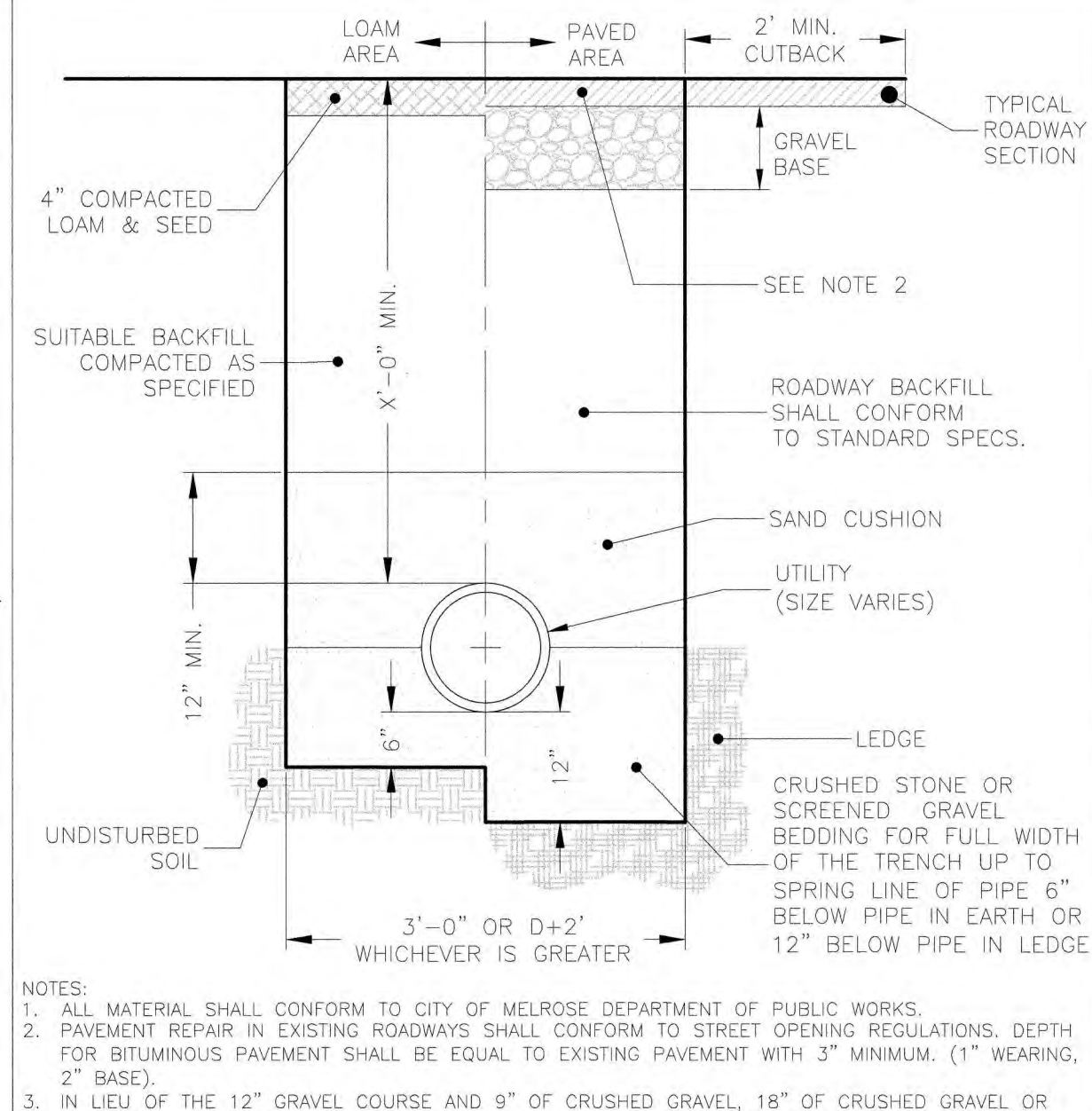


INSIDE DROP SEWER CONNECTION
NOT TO SCALE



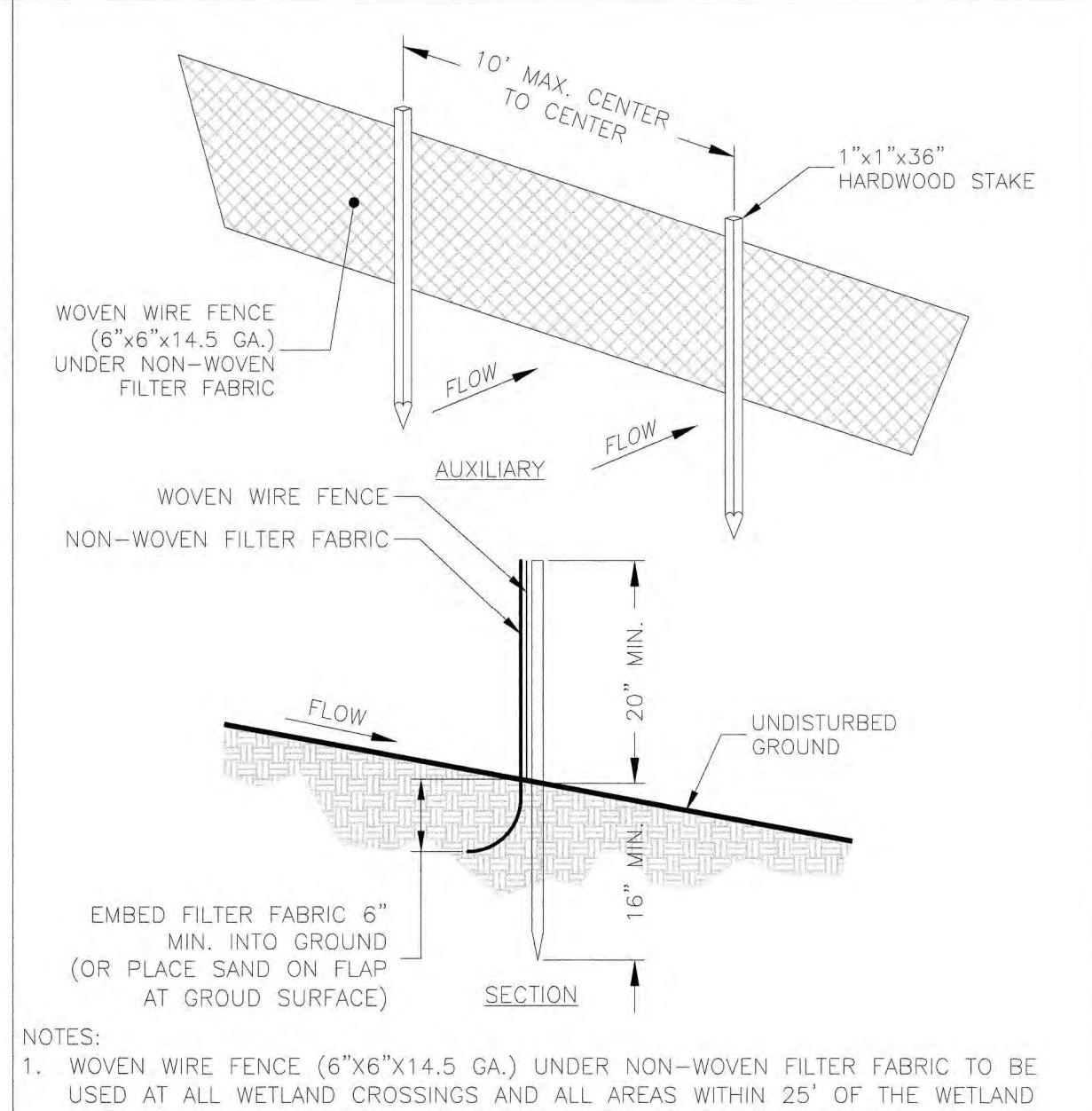
NOTES:
 1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAR FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 3. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."

REDUCED COVER DRAIN MANHOLE
NOT TO SCALE

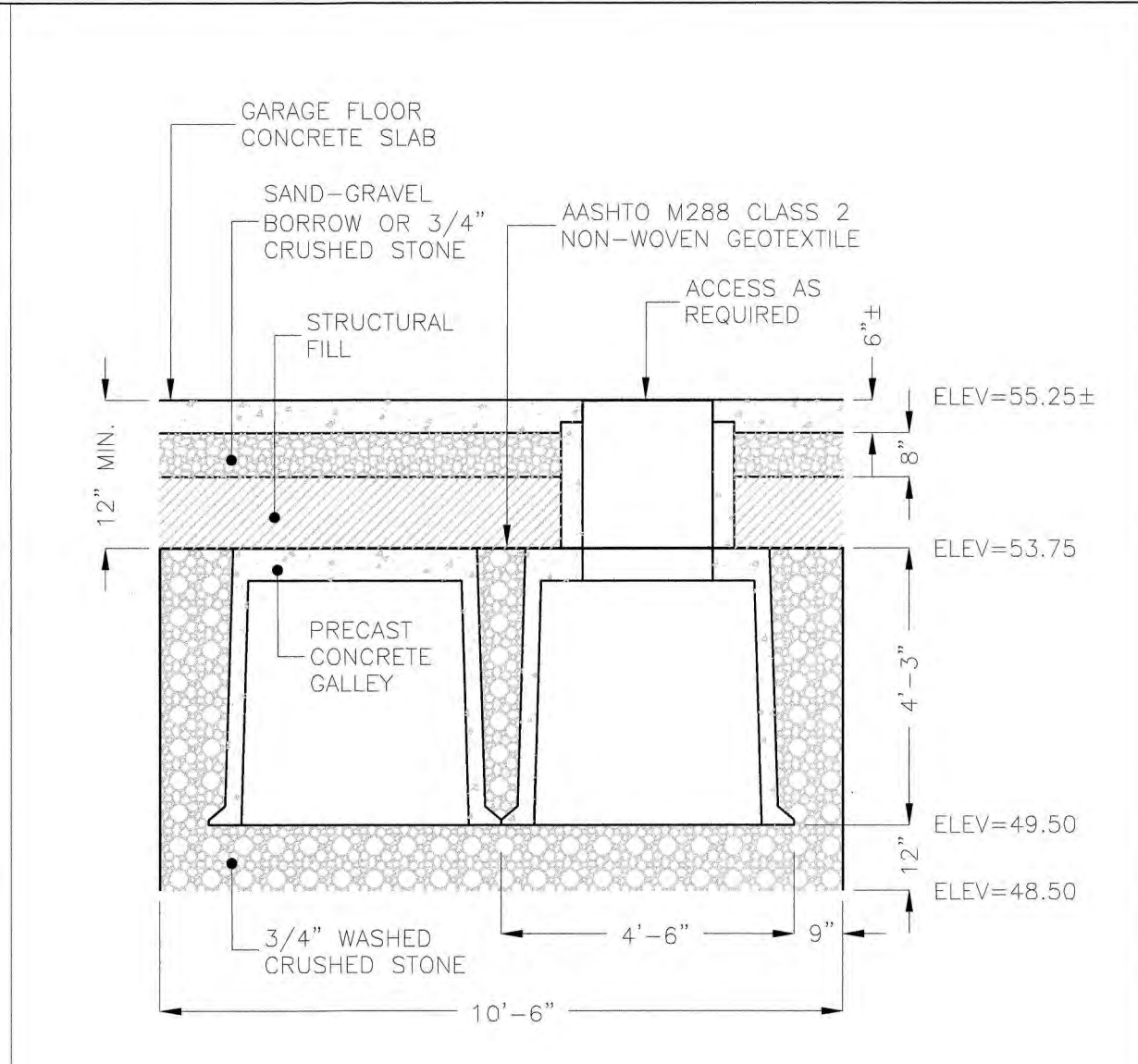


NOTE: 1. ALL MATERIAL SHALL CONFORM TO CITY OF MELROSE DEPARTMENT OF PUBLIC WORKS.
 2. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS, DEPTH FOR BITUMINOUS PAVEMENT SHALL BE EQUAL TO EXISTING PAVEMENT WITH 3" MINIMUM. (1" WEARING, 2" BASE).
 3. IN LIEU OF THE 12" GRAVEL COURSE AND 9" OF CRUSHED GRAVEL, 18" OF CRUSHED GRAVEL OR RECLAIMED STABILIZED BASE MAY BE USED AS A BASE FOR THE PAVEMENT REPAIR.
 4. MATERIAL SHALL BE REPLACED IN KIND WHENEVER POSSIBLE.
 5. A MINIMUM 2' CUTBACK IS REQUIRED AT THE TOP OF THE TRENCH WALL OVER UNDISTURBED MATERIAL.

UTILITY TRENCH
NOT TO SCALE

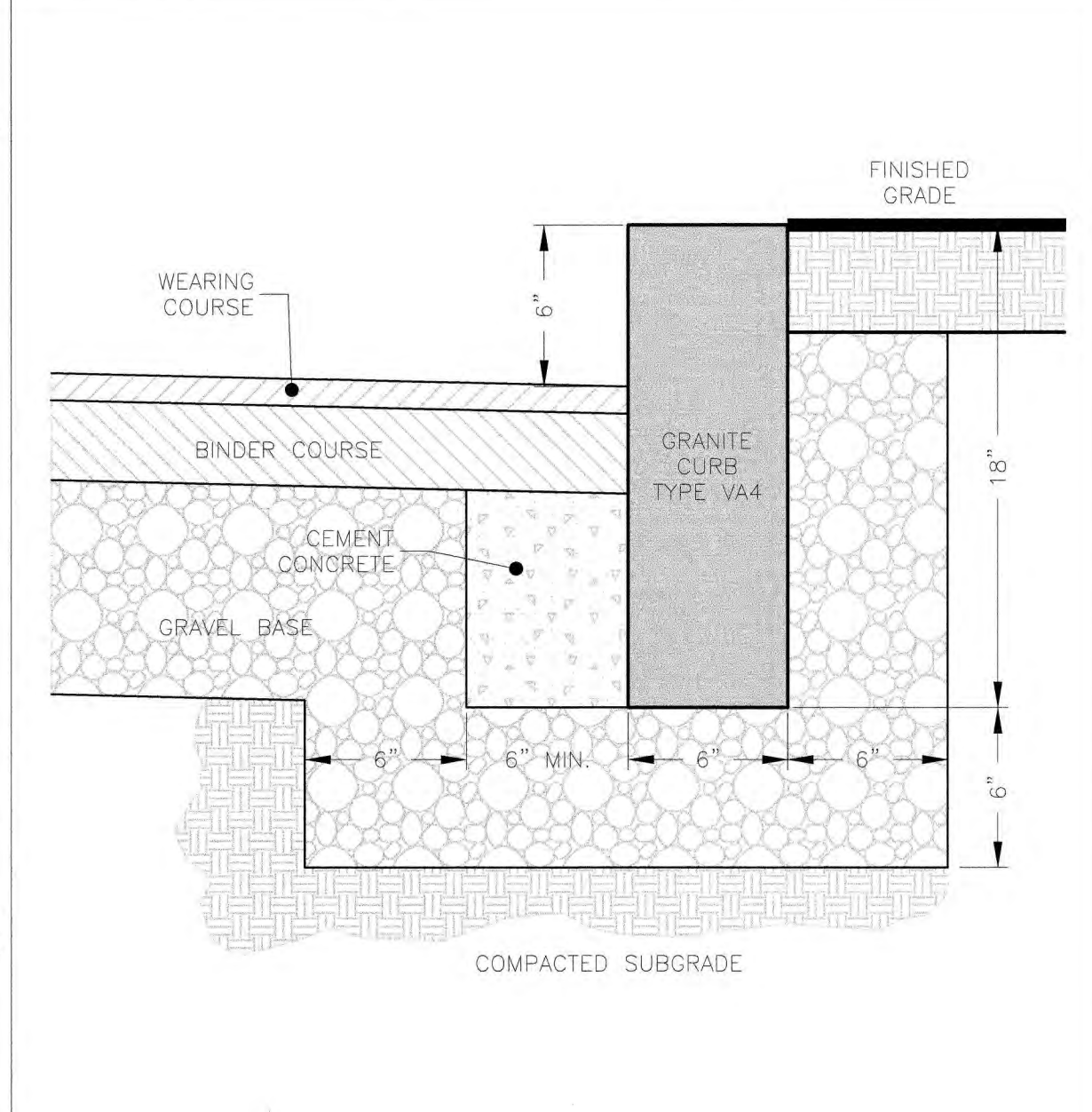


SILT FENCE
NOT TO SCALE

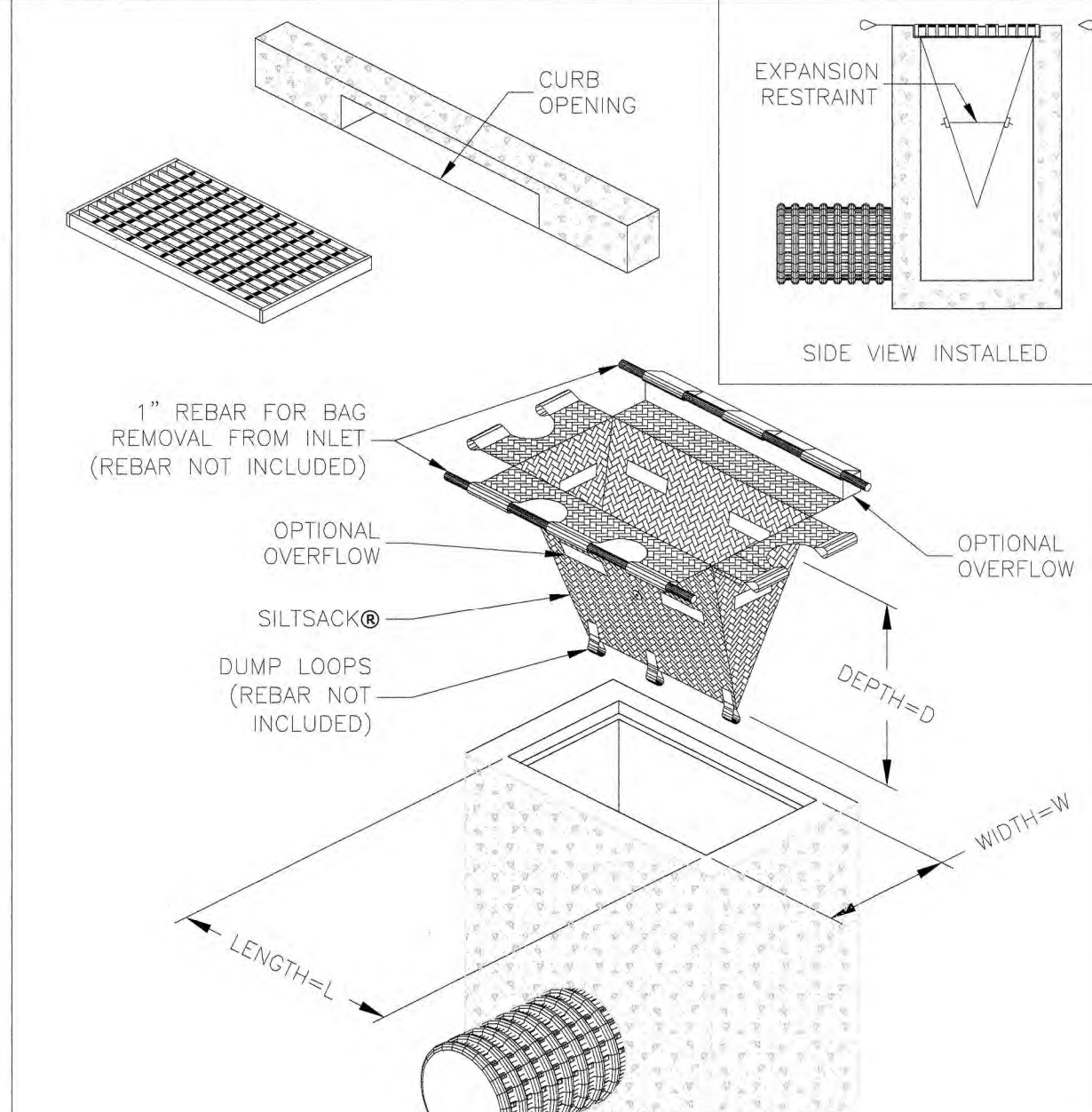


NOTES:
 1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 3 FEET COVER.
 3. GALLEY AVAILABLE IN BOTH END AND CENTER SECTIONS.
 4. CENTER SECTIONS HAVE LARGE OPENING IN BOTH THE BACK AND FRONT SIDES.

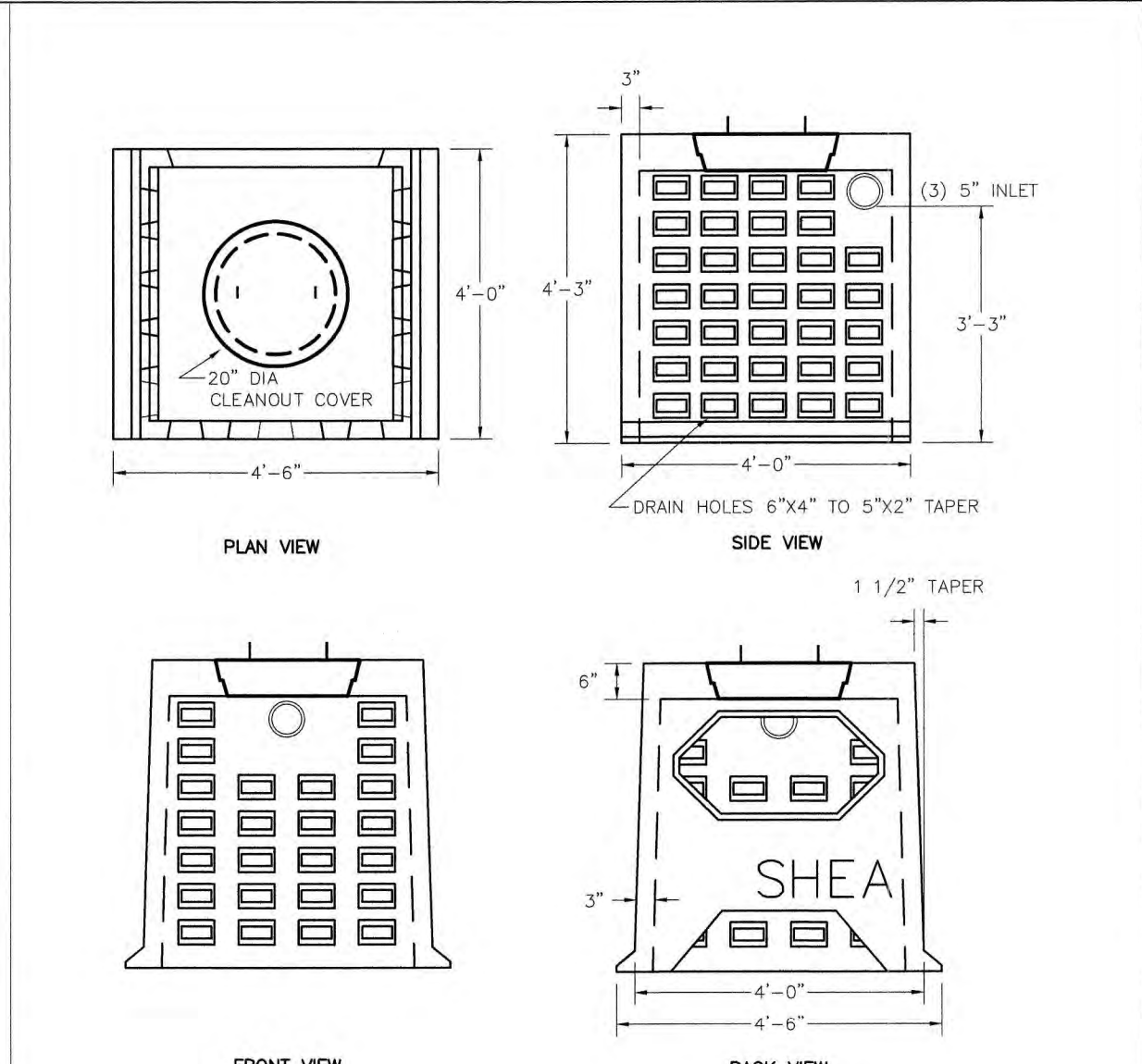
SHEA GALLEY 4x4 SECTION
NOT TO SCALE



VERTICAL GRANITE CURB
NOT TO SCALE

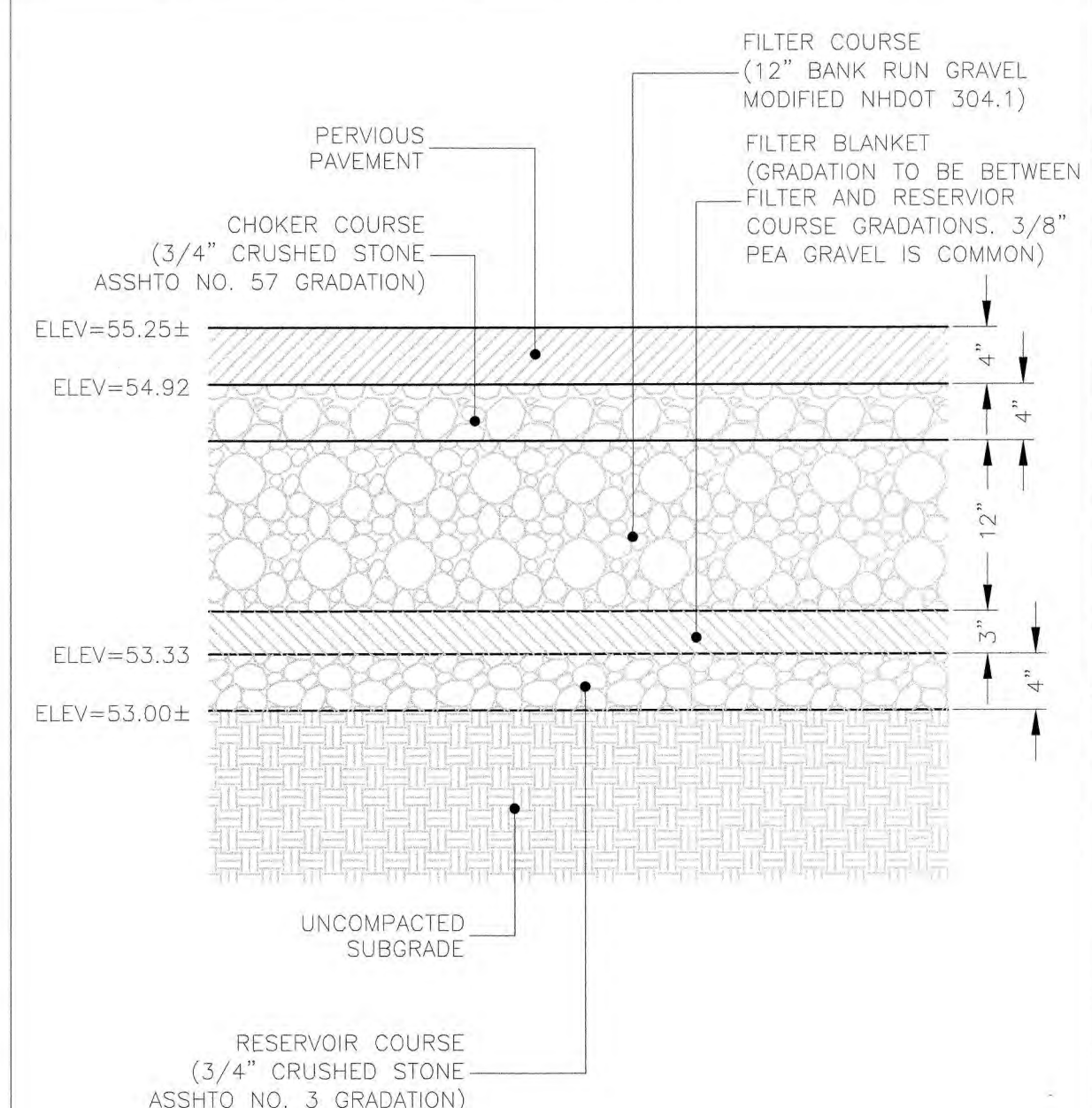


SILTSACK
NOT TO SCALE

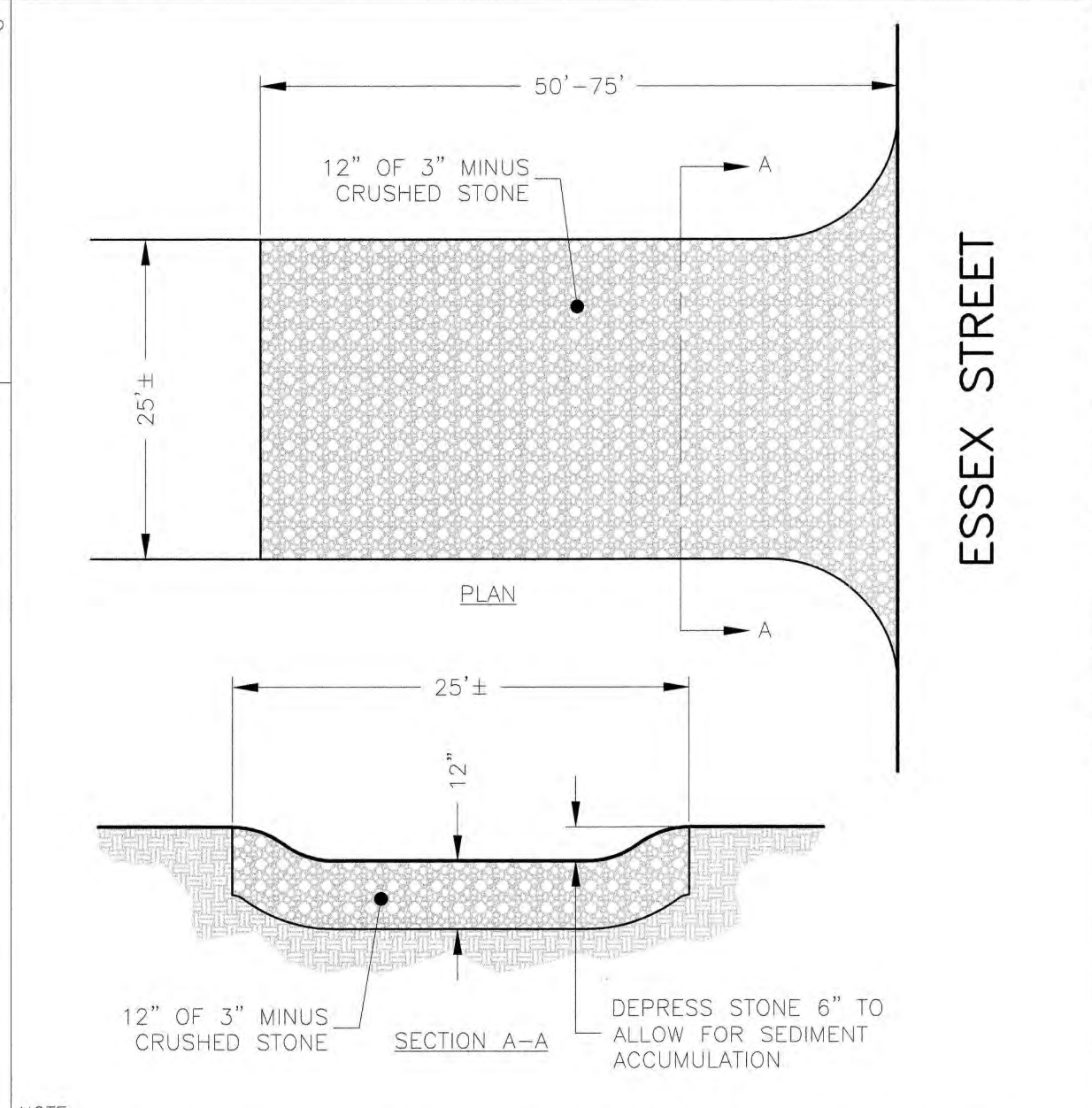


NOTES:
 1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 3 FEET COVER.
 3. GALLEY AVAILABLE IN BOTH END AND CENTER SECTIONS.
 4. CENTER SECTIONS HAVE LARGE OPENING IN BOTH THE BACK AND FRONT SIDES.

SHEA GALLEY 4x4 SECTION
NOT TO SCALE



POROUS PAVEMENT
NOT TO SCALE



TIRE TRACKING PAD
NOT TO SCALE

WILLIAMS & SPARAGES
 INC.
 100 COTTAGE STREET
 MELROSE, MA 02176
 PHONE: (978) 530-8088
 FAX: (978) 530-8200
 WENGINENR.COM

Owner: LG Realty, LLC
 100 Cottage Street
 Melrose, MA 02176
 Applicant: Cedar Park Development, LLC
 142 Haggert's Pond Road
 Andover, MA 01841

Designed By: MEM
 Drawn By: MEM
 Project Manager: RLW
 Job File Number: MELR-0047
 Drawing File Folder: MELR47

Drawing issued for Review
 Drawing issued for Permit
 Drawing issued for Construction

CONSTRUCTION DETAILS PLAN

164 ESSEX STREET, MELROSE, MA

12	11	10	9	8	7
6	5	4	3	2	1

SCALE: NONE

APRIL 10, 2024

DRAWING: C7.1

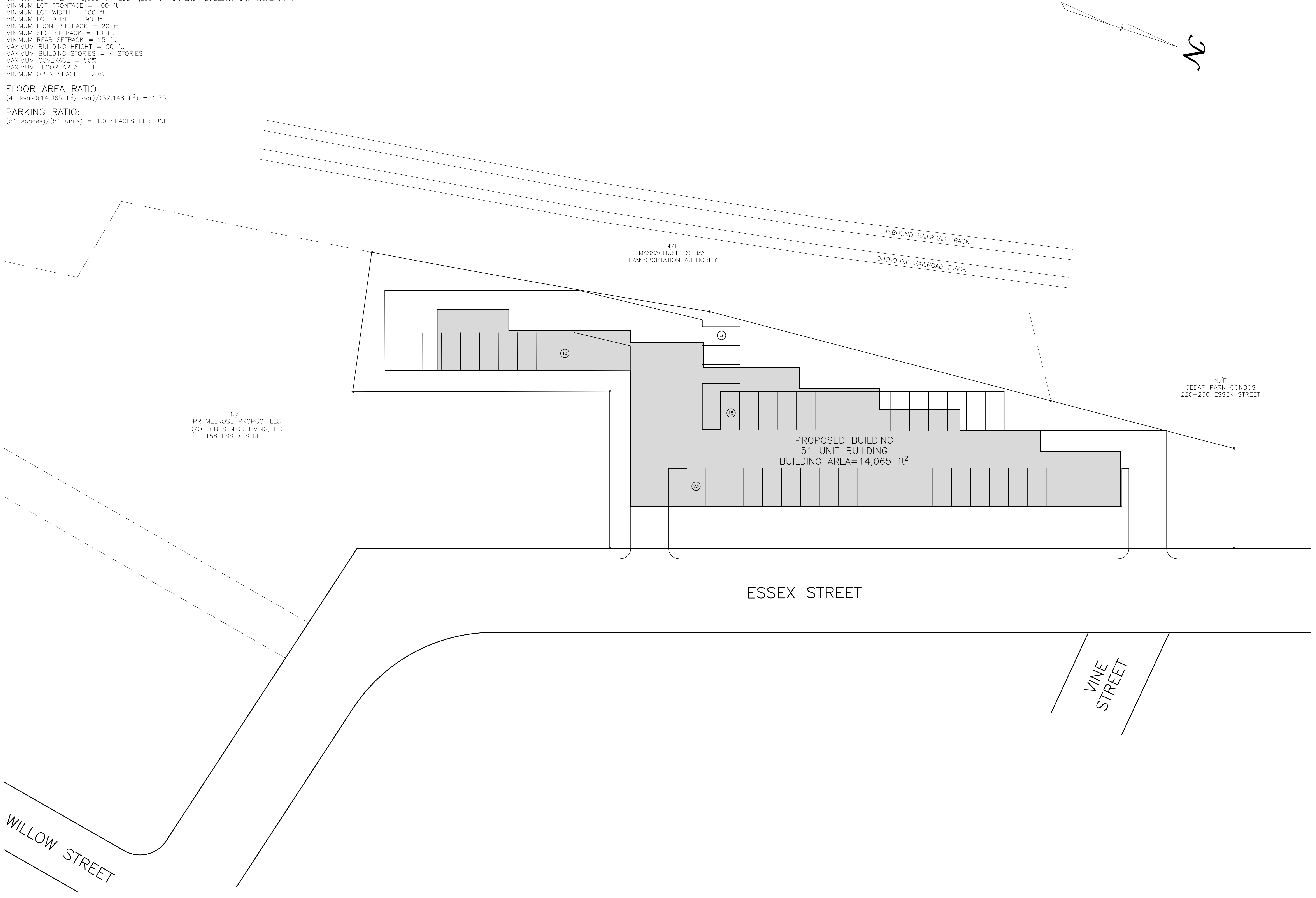
SHEET 11 OF 11

ZONING DISTRICT: BB-1 W/UR-C OVERLAY DISTRICT:
 SEE ARTICLE XI: SPECIAL PERMITS & CONDITIONS SECTION C.(1)(c)

MINIMUM LOT AREA = 6,000 ft² PLUS 1,250 ft² FOR EACH DWELLING UNIT MORE THAN 1
 MINIMUM LOT FRONTAGE = 100 ft.
 MINIMUM LOT WIDTH = 100 ft.
 MINIMUM LOT DEPTH = 90 ft.
 MINIMUM FRONT SETBACK = 20 ft.
 MINIMUM SIDE SETBACK = 10 ft.
 MINIMUM REAR SETBACK = 15 ft.
 MAXIMUM BUILDING HEIGHT = 50 ft.
 MAXIMUM BUILDING STORIES = 4 STORIES
 MAXIMUM COVERAGE = 50%
 MAXIMUM FLOOR AREA = 1
 MINIMUM OPEN SPACE = 20%

FLOOR AREA RATIO:
 (4 floors)(14,065 ft²/floor)/(32,148 ft²) = 1.75

PARKING RATIO:
 (51 spaces)/(51 units) = 1.0 SPACES PER UNIT



Owner:
 LG Realty, LLC
 100 Cottage Street
 Melrose, MA 02176
 Applicant:

Designed By: MEM
 Drawn By: MEM
 Reviewed By: RLW
 Project Manager: RLW
 Job File Number: MELR-0047
 Drawing File Folder: MELR47

Drawing Issued for Review
 Drawing Issued for Permit
 Drawing Issued for Construction

SEAL

CONCEPT PLAN
 BY-RIGHT DEVELOPMENT
 164 ESSEX STREET, MELROSE, MA

6	40'
5	
4	
3	
2	
1	

SCALE: 1" = 20'
 DECEMBER 28, 2023

DRAWING: C1.1
 SHEET 1 OF 1