

PERMIT SITE DEVELOPMENT PLANS

FOR

8 CRYSTAL STREET

LOCATED IN

MELROSE, MASSACHUSETTS

PLAN INDEX

- SHEET -1 ——— COVER SHEET
- SHEET -2 ——— EXISTING CONDITIONS
- SHEET -3 ——— PROPOSED CONDITIONS
- SHEET -4 ——— DETAIL

SITE DATA

Map D9 Lot 5
4,798 sq.ft.±

PERMIT/RELIEF APPROVED:

CASE # 20-030 MELROSE ZONING BOARD OF APPEALS
VARIANCE GRANTED UNDER SECTION 235-18 & 19
SPECIAL PERMIT GRANTED UNDER SECTION 235-41.M

ZONING DISTRICT — BD (ANY PERMITTED USE)

Minimum Lot Area — 5,000 SF
Minimum Frontage — 50'
Minimum Lot Depth — 90'
Front Yard — 15'
Side Yard — none
Rear Yard — 10'
Maximum Height — 80'
Building Stories — 8
Maximum Coverage — none
Minimum Open Space — 5%
Open Space
387 / 4798 = 8.1%

CATEGORY:	EXISTING	PROPOSED
BUILDING AREA:	1030sf±	978sf±
ENCLOSED DECKS/STAIRS:	180sf±	NONE
IMPERVIOUS WALKWAYS/PATIOS:	339sf±	253sf±
PAVED PARKING AREAS:	2740sf±	1913sf±
TOTAL BUILDING COVERAGE:	$\frac{1030 + 180}{1210/4798} = 25.2\%$	$\frac{978}{4798} = 20.4\%$
TOTAL IMPERVIOUS AREA ON SITE:	4289sf±	3144sf±
% OF PERVIOUS AREA ON SITE:	10.6%	34.4%

BENCHMARK TABLE

BENCHMARK #	DESCRIPTION	ELEVATION
1	PK NAIL IN SIDEWALK	57.97'
2	PK NAIL PAVEMENT	50.84'

DATUM: NAVD 1988

COVER SHEET AT 8 CRYSTAL STREET IN MELROSE, MA

OWNER: TRINITY PROPERTIES LLC
662 FRANKLIN STREET
MELROSE, MA 02176

ASSESSORS MAP D9, PARCEL 5

ENGINEER:
THOMAS MANNETTA INCORPORATED
28 FOREST RIDGE DRIVE — ROWLEY MA 01969
15 BOARDMAN LANE — TOPSFIELD MA 01983
PHONE: (978) 887-0965 EMAIL: TOM@THOMASMANNETTA.COM

DRAWING FILE: C:\DRAW2021\1858-8 CRYSTAL-MELROSE

TMI# 1858 DATE: 10/11/2021

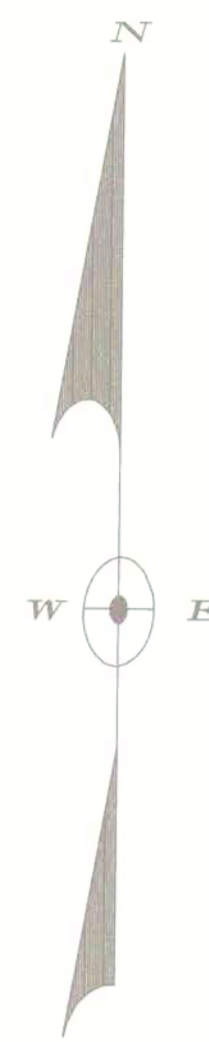
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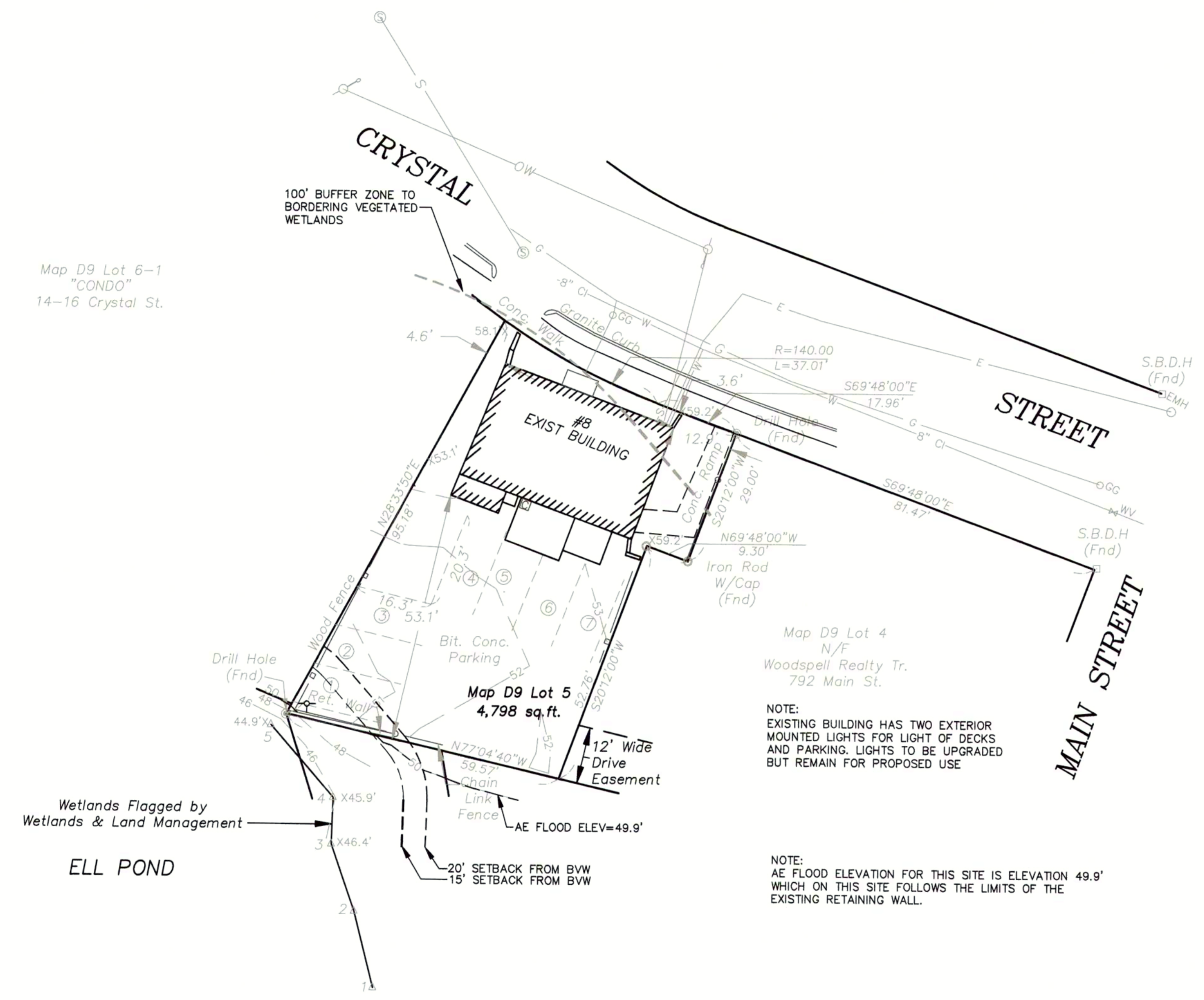
Scale: as noted

PLAN #: 1





Map D9 Lot 6-1
"CONDO"
14-16 Crystal St.

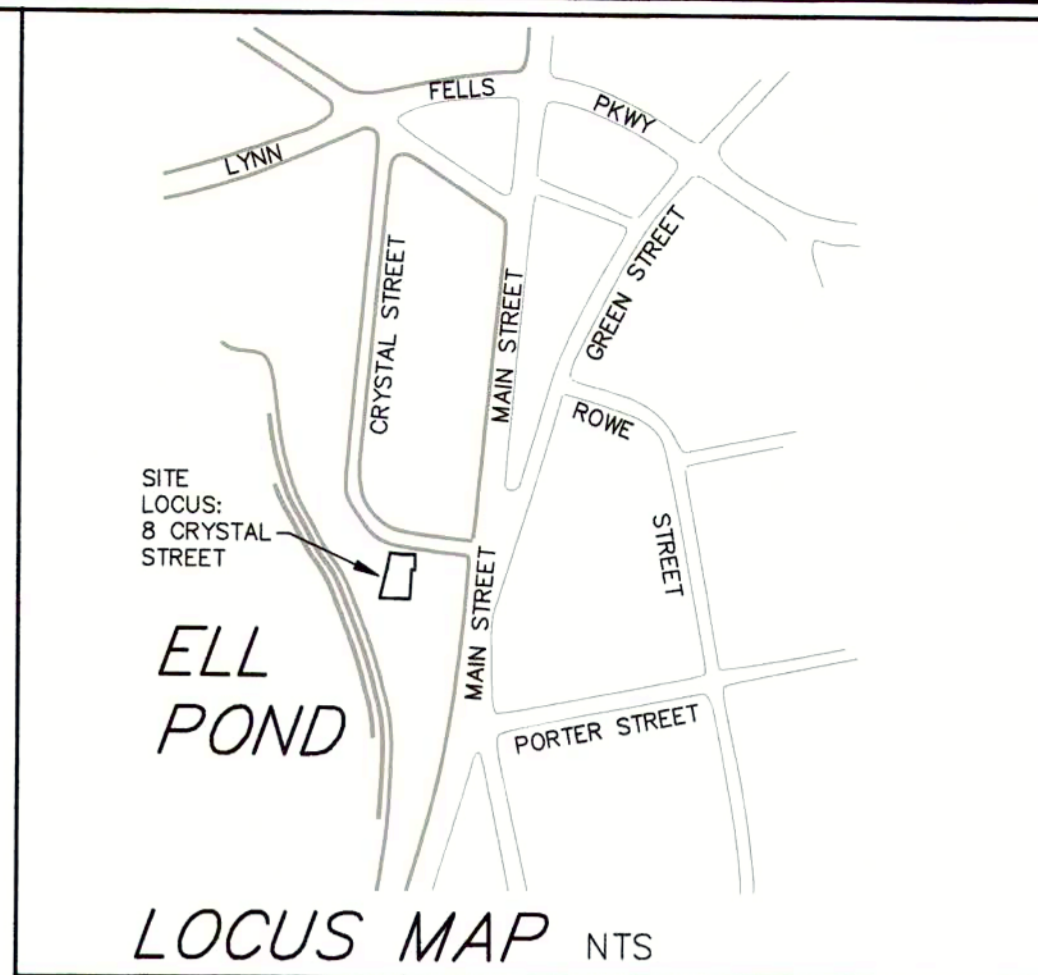


NOTE:
EXISTING BUILDING HAS TWO EXTERIOR MOUNTED LIGHTS FOR LIGHT OF DECKS AND PARKING. LIGHTS TO BE UPGRADED BUT REMAIN FOR PROPOSED USE

NOTE:
AE FLOOD ELEVATION FOR THIS SITE IS ELEVATION 49.9' WHICH ON THIS SITE FOLLOWS THE LIMITS OF THE EXISTING RETAINING WALL.

GENERAL NOTES:

- 1 THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND BASED UPON COMPILATION OF PLANS AND A PARTIAL FIELD SURVEY PERFORMED BY LEBLANC SURVEY ASSOCIATES ON MARCH OF 2021. THOMAS MANNETTA INC. DOES NOT WARRANTY NOR GUARANTEE THE LOCATION OF DEPICTED OR NOT DEPICTED UTILITIES. THE CONTRACTOR SHALL NOTIFY DIG SAFE 1-888-344-7233 A MINIMUM OF 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2 THE BOUNDARY AND TOPOGRAPHIC INFORMATION HAS BEEN COMPILED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A CONFIRMATION OF BOUNDARY LINES, SURFACE OR SUBSURFACE FEATURES & RECORD INFORMATION WAS TIED INTO BY LEBLANC SURVEY ASSOCIATES MARCH 2021.
- 3 REFER TO MELROSE ZONING BOARD OF APPEALS DECISION ZBA CASE NUMBER 20-030, MEETING DATE JANUARY 13,2021
4. THIS SITE IS LOCATED WITHIN THE AE FLOOD ZONE EL=49.9'



LEGEND

- HYDRANT
- SEWER MANHOLE
- UTILITY POLE
- EXISTING LIGHT POLE
- GUY WIRE
- STONE BOUND
- DRILL HOLE
- EXISTING/PROPOSED AC COMPRESSORS
- PROPOSED TRASH RECEPTACLES
- PROPERTY LINE
- EASEMENT LINE
- EXISTING RETAINING WALL
- EXISTING CHAIN LINK FENCE
- EXISTING WOOD FENCE
- EXISTING SPOT GRADE
- CONTOUR LINE
- PROPOSED GRADE
- PROPOSED SPOT GRADE
- OVERHEAD WIRE
- WETLANDS LINE
- 100' BUFFER ZONE

- REFERENCES:
- 1) Deed Book 71914 Page 293
 - 2) Plan Book 213 Plan 13
 - 3) Plan #327 of 1988
 - 4) Plan #1027 of 1953
 - 5) "Plan of Land in Melrose, Mass. Belonging to Charles M. & Louise E. Walker, Scale: 1"=10', Rowland H. Barnes & Co., Civil Engineers, 681 Main St., Waltham, Mass. August 1960"

PROFESSIONAL ENGINEER
DATE:

**EXISTING CONDITIONS PLAN
AT
8 CRYSTAL STREET
IN
MELROSE, MA**

OWNER: TRINITY PROPERTIES LLC
662 FRANKLIN STREET
MELROSE, MA 02176

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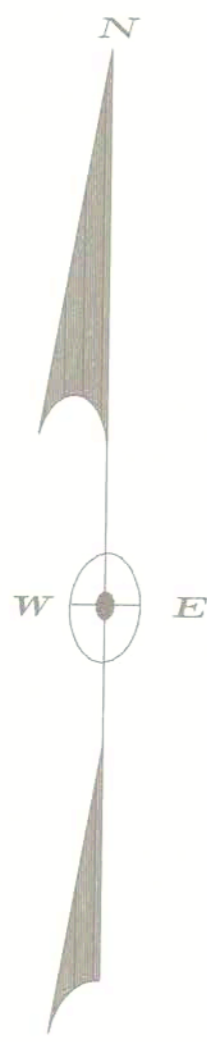
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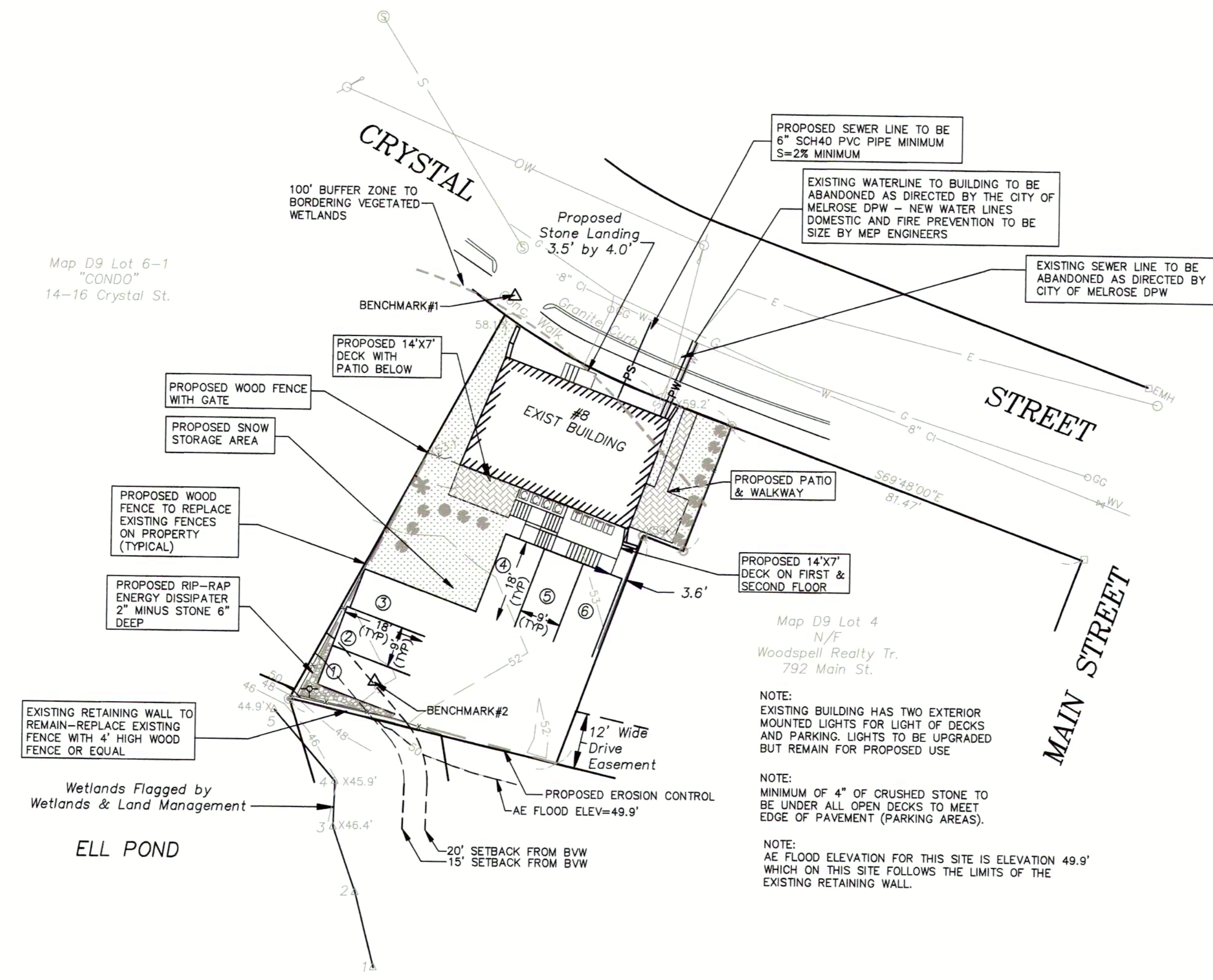
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20 0 20 40 Scale: 1"= 20'

PLAN #: 2



Map D9 Lot 6-1
"CONDO"
14-16 Crystal St.



Map D9 Lot 4
N/F
Woodspell Realty Tr.
792 Main St.

NOTE:
EXISTING BUILDING HAS TWO EXTERIOR MOUNTED LIGHTS FOR LIGHT OF DECKS AND PARKING. LIGHTS TO BE UPGRADED BUT REMAIN FOR PROPOSED USE

NOTE:
MINIMUM OF 4" OF CRUSHED STONE TO BE UNDER ALL OPEN DECKS TO MEET EDGE OF PAVEMENT (PARKING AREAS).

NOTE:
AE FLOOD ELEVATION FOR THIS SITE IS ELEVATION 49.9' WHICH ON THIS SITE FOLLOWS THE LIMITS OF THE EXISTING RETAINING WALL.

BENCHMARK TABLE

BENCHMARK #	DESCRIPTION	ELEVATION
1	PK NAIL IN SIDEWALK	57.97'
2	PK NAIL PAVEMENT	50.84'

DATUM: NAVD 1988

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED BY THE OWNER, THE ENGINEER AND LOCAL APPROVING AUTHORITY.
2. THE CONTRACTOR SHALL NOTIFY THE RELEVANT TOWN DEPARTMENTS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.
3. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND DETAILS.
4. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION.
5. AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. A THOROUGH INSPECTION OF THE WORK PERIMETER IS TO BE MADE AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED AND REMOVED.
6. AT THE END OF CONSTRUCTION, AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
7. THE CONTRACTOR IS TO VERIFY THE LOCATION, SIZE, AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE PROPOSED WORK POSES A CONFLICT WITH THE EXISTING UTILITIES, THE ENGINEER IS TO BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
8. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS, DOOR LOCATIONS, AND ENTRY DETAILS.
9. ALL PVC SANITARY SEWER IS TO BE SDR 35 WITH RUBBER RING JOINTS.
10. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND BASED UPON COMPILATION OF PLANS AND A PARTIAL FIELD SURVEY PERFORMED BY LEBLANC SURVEY ASSOCIATES ON MARCH OF 2021. THOMAS MANNETTA INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF DEPICTED OR NOT DEPICTED UTILITIES. THE CONTRACTOR SHALL NOTIFY DIG SAFE 1-888-344-7233 A MINIMUM OF 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
11. NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6" OF THE UTILITY SERVICES IN THE TRENCH NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12" ABOVE THE SERVICES.
12. TEMPORARY SANITARY FACILITIES SHALL BE PROVIDED ON-SITE IN CONVENIENT LOCATIONS TO SITE WORKERS. SANITARY FACILITIES SHALL BE ADEQUATELY MAINTAINED TO PREVENT CONTACT BETWEEN ASSOCIATED WASTES AND STORM WATER RUNOFF.
13. THE BOUNDARY AND TOPOGRAPHIC INFORMATION HAS BEEN COMPILED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A CONFIRMATION OF BOUNDARY LINES, SURFACE OR SUBSURFACE FEATURES & RECORD INFORMATION WAS TIED INTO BY LEBLANC SURVEY ASSOCIATES MARCH 2021.
14. REFER TO MELROSE ZONING BOARD OF APPEALS DECISION ZBA CASE NUMBER 20-030, MEETING DATE JANUARY 13,2021
15. THIS SITE IS LOCATED WITHIN THE AE FLOOD ZONE EL=49.9'

EROSION AND SEDIMENTATION CONTROL NOTES:

1. PRIOR TO ANY CONSTRUCTION CONTRACTOR SHALL REVIEW ANY ORDER OF CONDITIONS AS ISSUED BY THE MELROSE CONSERVATION COMMISSION.
2. EROSION CONTROL/LIMIT OF WORK BARRIERS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE INSPECTED BY THE MELROSE CONSERVATION COMMISSION PRIOR TO START OF WORK.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES AS REQUIRED BY PLAN APPROVALS AND AS DIRECTED IN THE ORDER OF CONDITIONS ISSUED BY THE MELROSE CONSERVATION COMMISSION.
4. SILT OR CONSTRUCTION DEBRIS SHALL BE REMOVED IMMEDIATELY. THE ROADWAY AND PARKING AREA SHALL BE SWEEP AS REQUIRED FOR DUST CONTROL.
5. EXCESS CONCRETE AND WASHWATER FROM CONCRETE TRUCKS SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER UNTIL THE CONCRETE HARDENS. NO WASHING OF EXCESS CONCRETE SHALL TAKE PLACE WITHIN THE 100' BUFFER ZONE.

LEGEND

- HYDRANT
- SEWER MANHOLE
- UTILITY POLE
- EXISTING LIGHT POLE
- GUY WIRE
- STONE BOUND
- DRILL HOLE
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- EXISTING WOOD FENCE
- EXISTING SPOT GRADE
- CONTOUR LINE
- PROPOSED GRADE
- PROPOSED SPOT GRADE
- OVERHEAD WIRE
- WETLANDS LINE
- 100' BUFFER ZONE
- PROPOSED EROSION CONTROL
- PROP WOOD FENCE
- PROP BRICK PATIO
- PROP TREE
- PROP SHRUB
- PROP LANDSCAPE/GRASS AREA
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- 15' SETBACK FROM BVW
- 20' SETBACK FROM BVW

PROFESSIONAL ENGINEER
 DATE:

**PROPOSED SITE PLAN
AT
8 CRYSTAL STREET
IN
MELROSE, MA**

OWNER: TRINITY PROPERTIES LLC
662 FRANKLIN STREET
MELROSE, MA 02176

ASSESSORS MAP D9, PARCEL 5

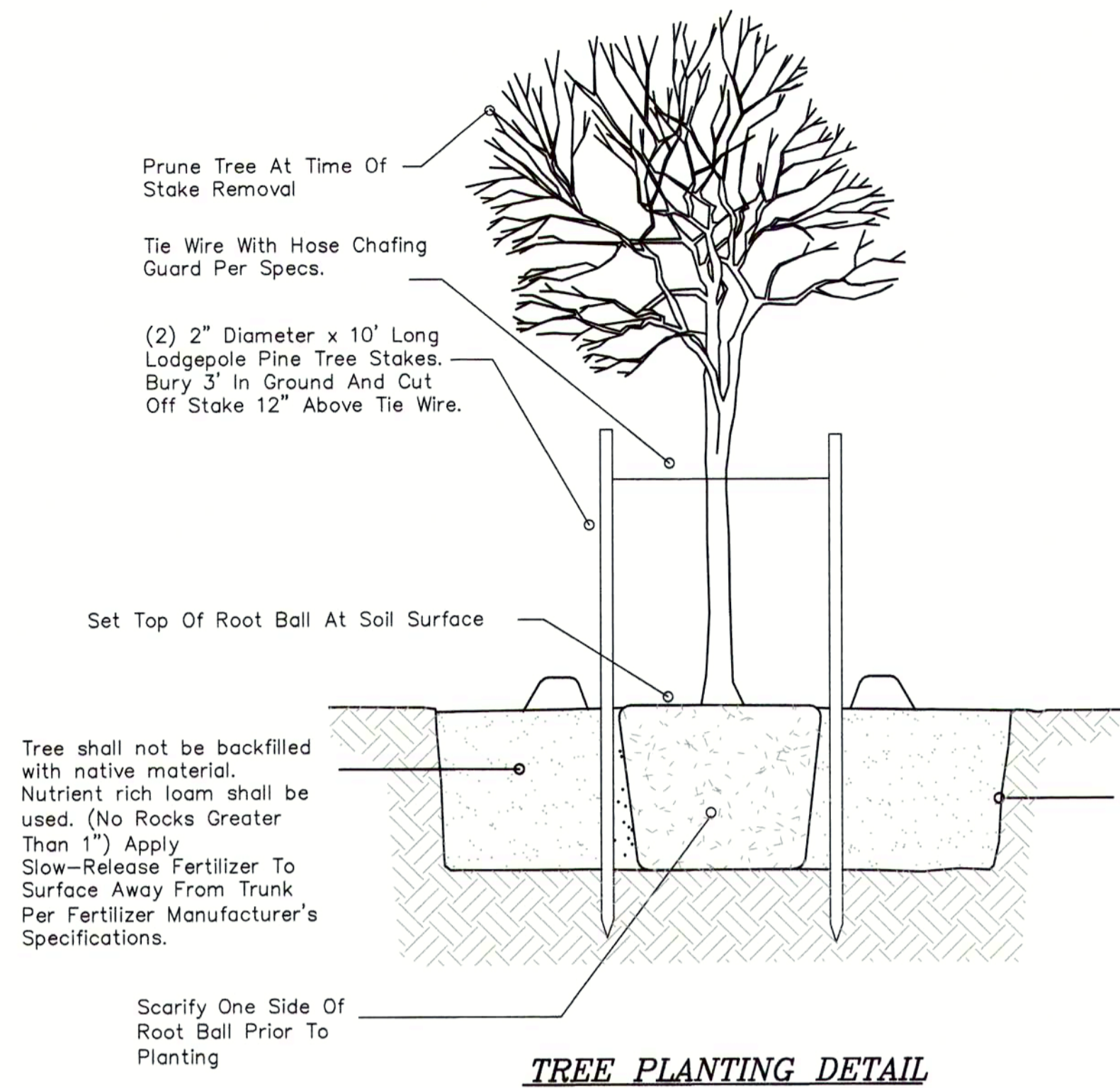
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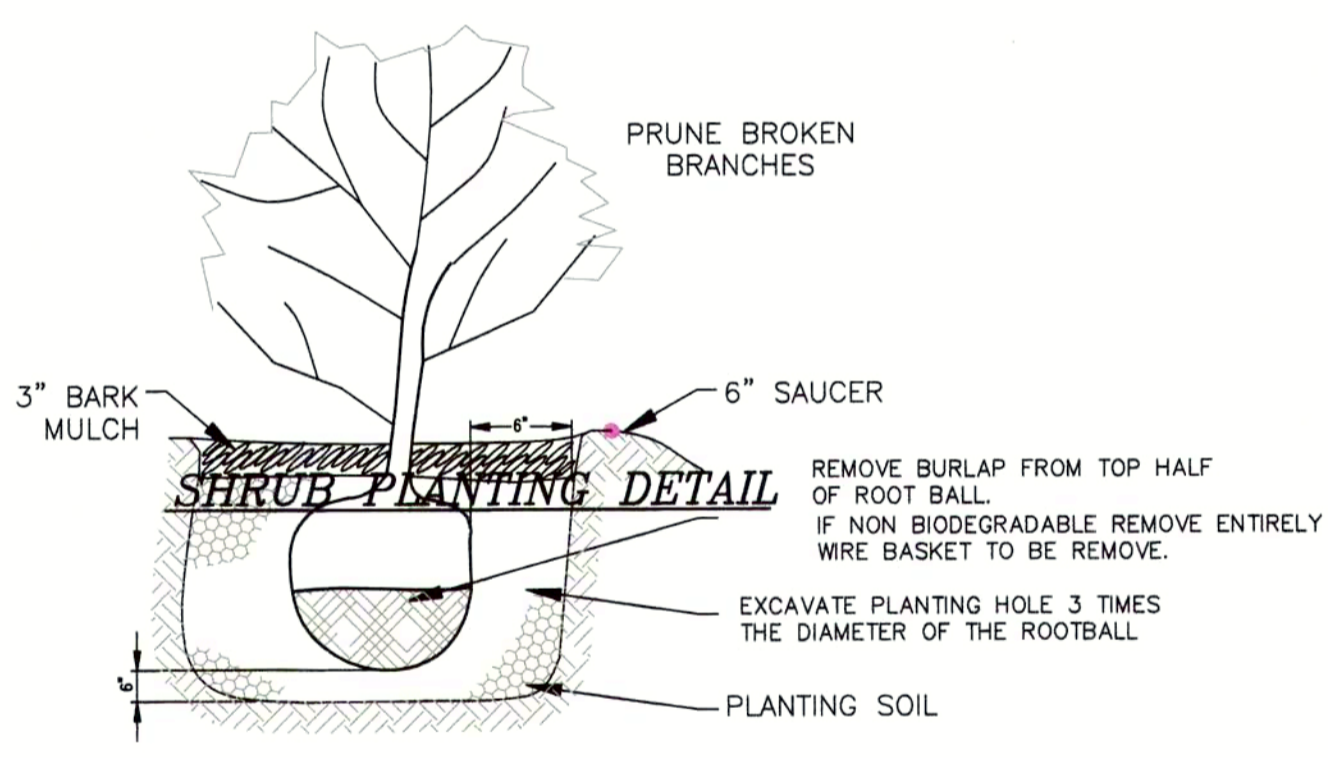
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PLAN #: 3



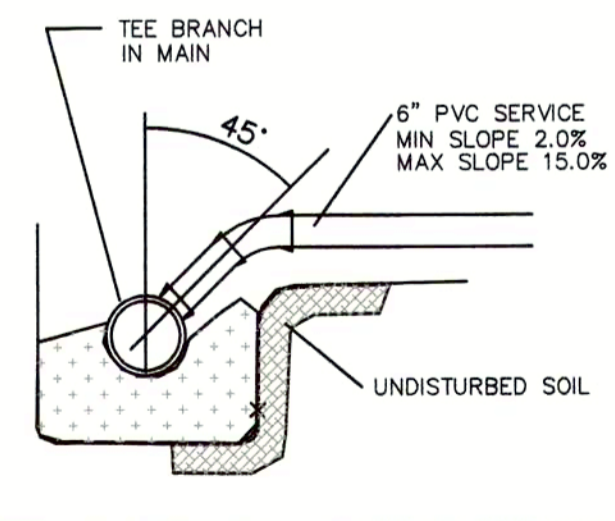
TREE PLANTING DETAIL
(Not to scale)

The newly planted trees shall be watered at the time of planting to saturate the tree and aid in backfilling. During the first growing season they shall be watered at least once a week in the absence of rain (more often during the summer months). Care should be taken not to overwater as this may result in oxygen deprivation due to underlying soil conditions. Regular deep soakings are better than frequent light wetting. During watering the moisture shall reach a depth of 12 to 18 inches below the finish grade. This shall establish ideal root growth. Superabsorbent polymer crystals that absorb moisture can be used if soil conditions during excavation of trench yield a very coarse soil condition.

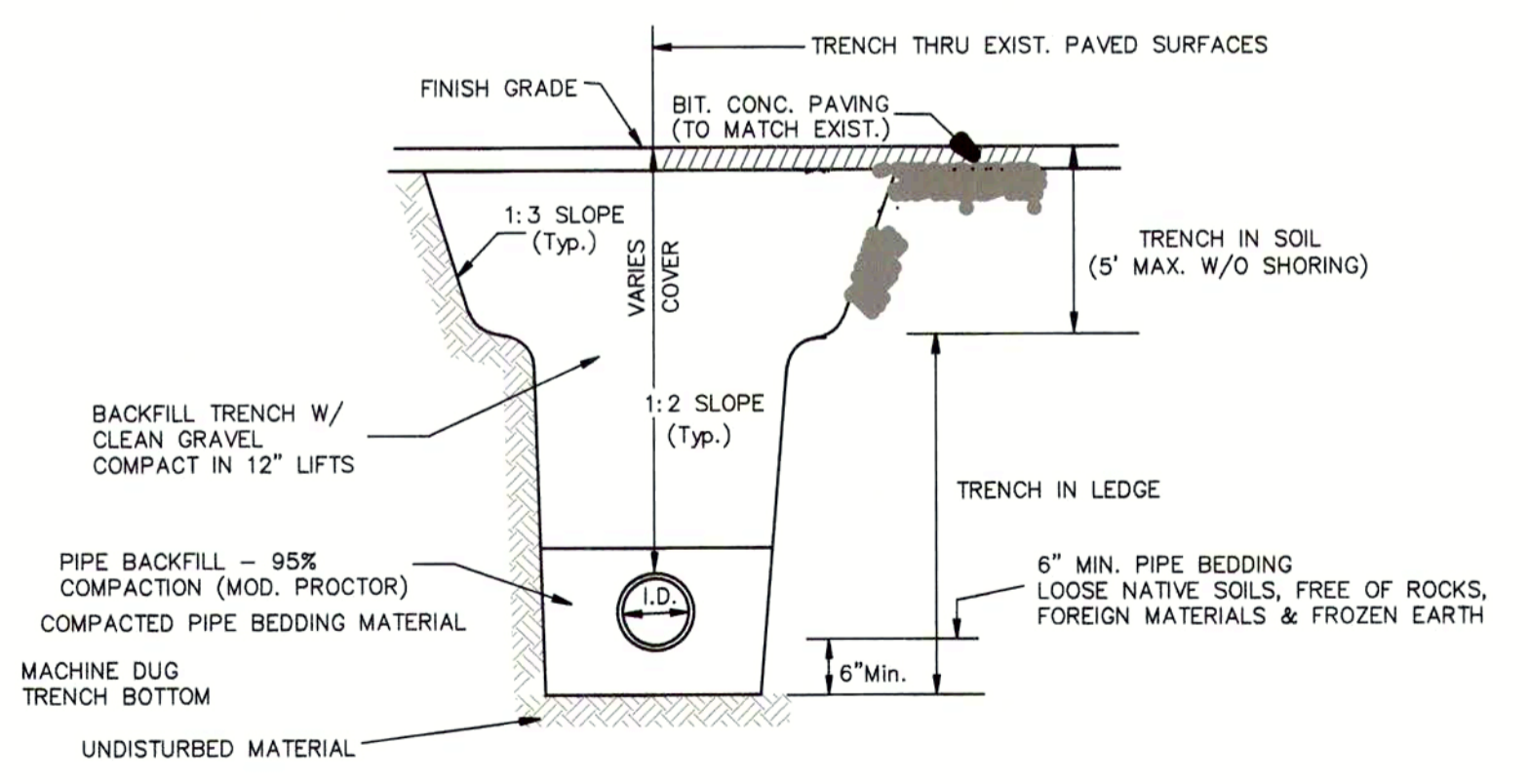
Trees shall be mulched after installation. Mulch shall be 3 to 4 inches thick and extended 3' around the base of the tree.



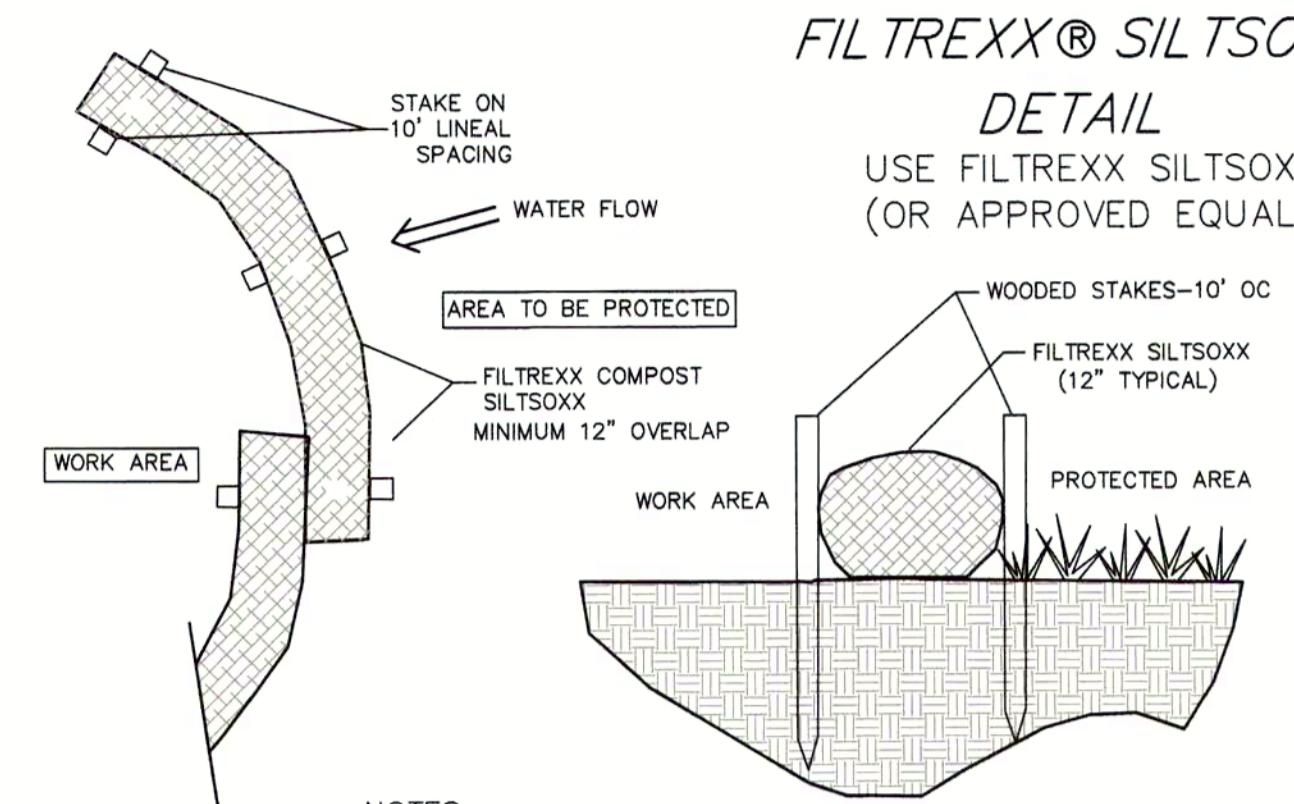
SHRUB PLANTING DETAIL
(Not to scale)



6" SEWER SERVICE CONNECTION
(Not to scale)

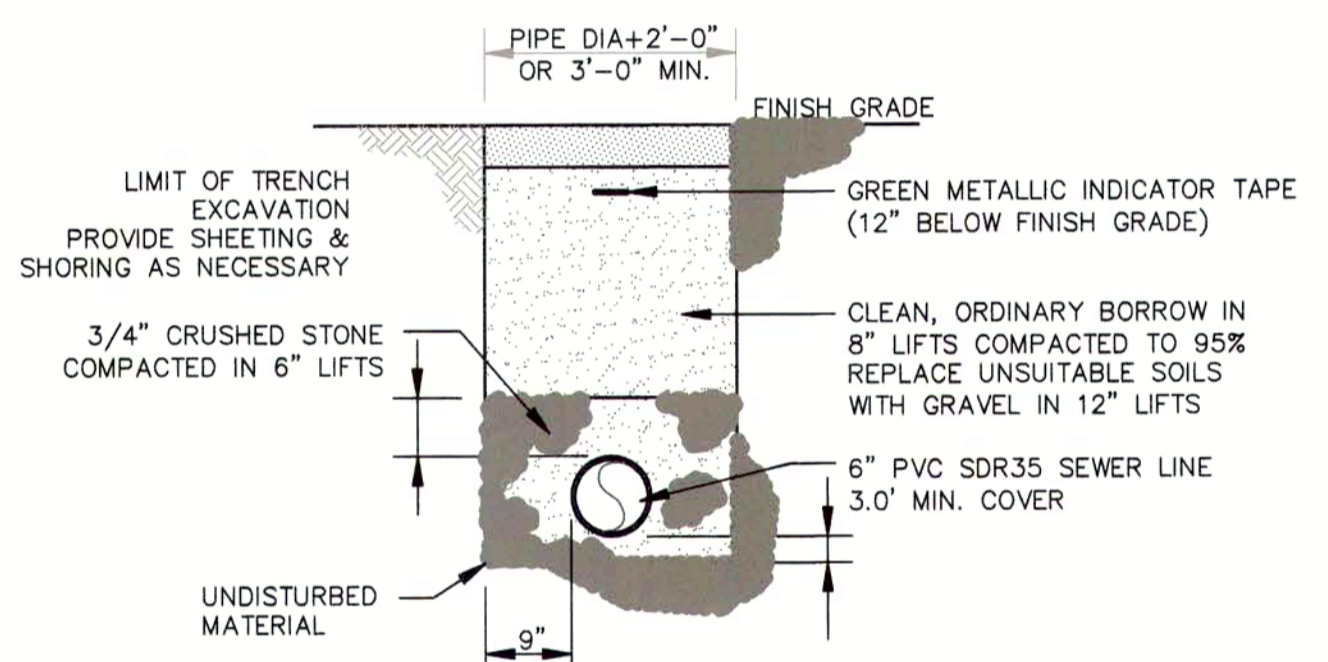


TRENCH SECTION DETAIL
(Not to scale)



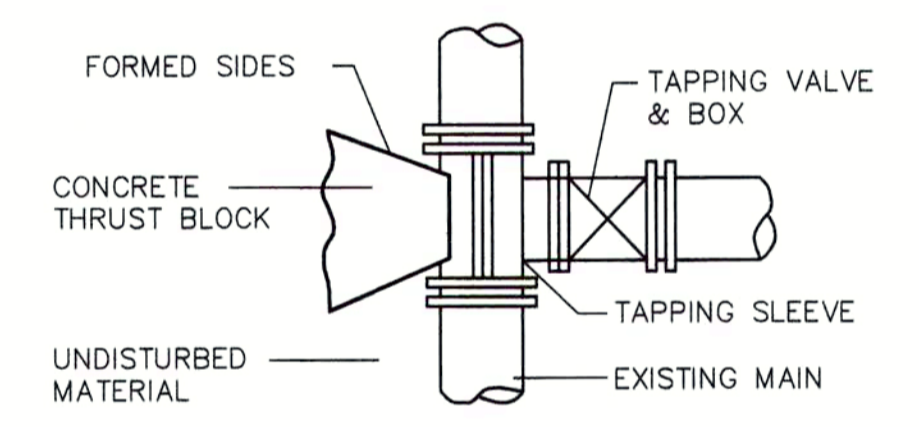
- NOTES:
1. ALL MATERIALS TO MEET FIL TREXX SPECIFICATIONS.
 2. SILT SOXX COMPOST/SOIL/ROCK/SEED/FILL TO MEET APPLICATION REQUIREMENTS.
 3. SILT SOXX DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER ENGINEER.
 4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

EROSION CONTROL
(Not to scale)

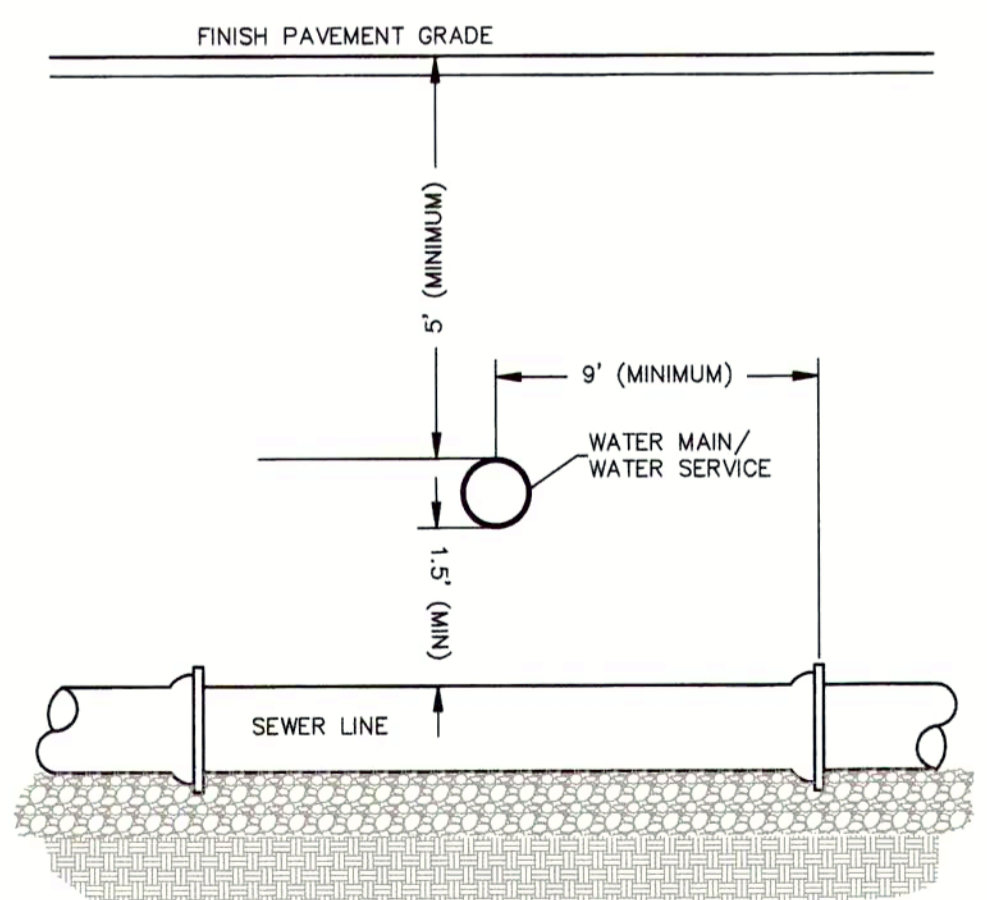


SEWER LINE TRENCH
(Not to scale)

- TRENCH NOTES:
- 1) FIRM FOUNDATION SOILS (2000 PSI MIN.) REQUIRED. REPLACE UNSUITABLE SOILS WITH GRAVEL, AS DIRECTED.
 - 2) MHD M2.01.7 CRUSHED STONE SPEC. FOR SEWER PIPE.
 - 3) SEWER TRENCH TO CONFORM TO TOWN STANDARDS - CONTRACTOR TO CONFIRM.

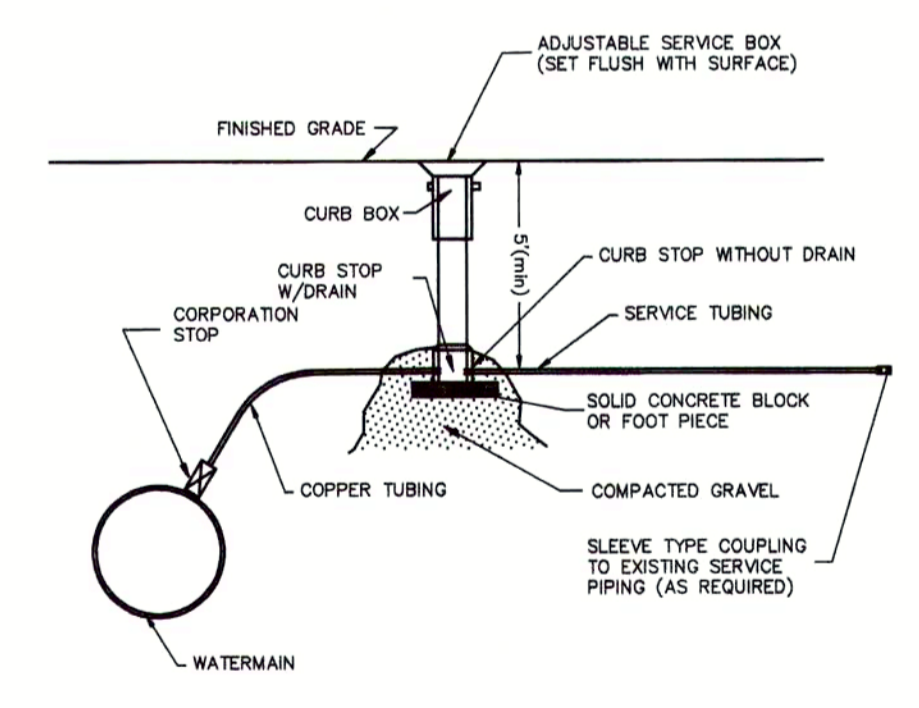


TAPPING SLEEVE DETAIL
(Not to scale)



- NOTES:
- WHERE FEASIBLE SEWER LINE SHALL MAINTAIN A MINIMUM SEPARATION OF 10' HORIZONTALLY AND 1.5' BELOW ANY WATER MAIN OR SERVICE
- WHEN REQUIRED SEPARATION CAN NOT BE ACHIEVED THE PIPES SHALL BE ENCASED IN CONCRETE FOR 10' ON BOTH SIDES OF THE CROSSING.
- EACH SERVICE SHALL BE LAID IN A SEPARATE TRENCH.

SEWER/WATER CROSSING
(Not to scale)



TYPICAL DOMESTIC WATER SERVICE
(Not to scale)

PROFESSIONAL ENGINEER
DATE:

DETAILS AT 8 CRYSTAL STREET IN MELROSE, MA

OWNER: TRINITY PROPERTIES LLC
662 FRANKLIN STREET
MELROSE, MA 02176

ASSESSORS MAP D9, PARCEL 5

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Scale: 1" = 20'

PLAN #: 4