

SUMMIT RIDGE

MELROSE MA 02176

NORTH SHORE RESIDENTIAL DEVELOPMENT



ILLUSTRATIVE FRONT ELEVATIONS

SUMMIT RIDGE

MELROSE MASSACHUSETTS 02176

ARCHITECTURAL ABBREVIATIONS

ABV.	A	L.P.	L
A.C.	ABOVE	LAM.	LOW POINT
A.F.F.	AIR CONDITIONING	LAV.	LAMINATE
A.N.	ABOVE FINISH FLOOR	LT.	LAVATORY
ACT.	AS NOTED	M	LIGHT
ADJ.	ACOUSTIC TILE	M.E.P.	MECHANICAL, ELECTRICAL & PLUMBING
AL.	ADJACENT OR ADJUSTABLE	M.O.	MASONRY OPENING
ALUM.	ALUMINUM	MECH.	MECHANICAL
ALT.	ALTERNATE	MET./MTL.	METAL
APPD.	APPROVED	MEZZ.	MEZZANINE
APPROX./H.	APPROXIMATE	MIN.	MINIMUM
AUX.	AUXILIARY	MTD.	MOUNTED
B	BOTTOM	N	NOT IN CONTRACT
B.M.	BENCH MARK	N.T.S.	NOT TO SCALE
B.O.	BOTTOM OF OR BY OTHERS OR OWNER	NO.	NUMBER
BD.	BOARD	NOM.	NOMINAL
BLDG.	BUILDING	O	OVERALL
BLK./BLKG.	BLOCK/BLOCKING	O.C.	ON CENTER
C	CAST IN PLACE	O.H.	OVERHEAD
C.I.P.	CENTER LINE	OPP.HND.	OPPOSITE HAND
C.L.	CONCRETE MASONRY UNIT	P	PLATFORM
C.M.U.	CLEAR-OUT OR CLEAR OPENING	PLY./PLYWD.	PLYWOOD
C.O.	CLEAR OR CLOSET	PR.	PREFABRICATED
CL.	CEILING	PROJ.	PROJECT OR PROJECTION
CLG.	CONCRETE	PT./PTD.	PAINT/PAINTED
CONC.	CONTINUOUS	QTY.	QUANTITY
CONT.	DRINKING FOUNTAIN	R	ROUGH OPENING
D	DETAIL	REC.	RECESS/RECESSED
D.F.	DIAMETER	REF.	REFERENCE
DIA./DIAM.	DIM(S)	REINF.	REINFORCED/REINFORCEMENT
DN.	DOWN	REOD.	REQUIRED
DWG.	DRAWING	S	STAINLESS STEEL
E	EACH	SECT.	SECTION
EA.	ELEVATION	SHT.	SHEET
EL./ELEV.	ELEVATOR	SIM.	SIMILAR
ELEV.	ELECTRICAL	SPEC(S).	SPECIFICATION(S)
ELEC.	EMERGENCY	SPRINKL.	SPRINKLER
EMERG.	EQUAL	SPKR.	SPEAKER
EQ.	EQUIPMENT	STD.	STANDARD
EQUIP.	EXISTING	STL.	STEEL
EX./EXIST.	F	STOR.	STORAGE
F.D.	FLOOR DRAIN	SUSP.	SUSPENDED
F.E.	FIRE EXTINGUISHER	T.O.	TOP OF
F.F.	FINISH FLOOR OR FINISH FACE	TEL.	TELEPHONE
F.P.S.C.	FIREPROOF SELF-CLOSING	TEMP.	TEMPERED OR TEMPORARY
FIN.	FINISH/FINISHED	THK.	THICK/THICKNESS
FL./FLR.	FLOOR	TV.	TELEVISION
FLR.	FEET/FOOT	TYP.	TYPICAL
FT.	FOOTING	U	UNLESS OTHERWISE NOTED
FTG.	G	UNEXC.	UNEXCAVATED
G.F.(C.I.)	GROUND FAULT (CIRCUIT) INTERRUPTED	UTL.	UNDERSIATED
G.W.B.	GYPNUM WALL BOARD	U.TL.	UTILITY
GA.	GAUGE	V	VERIFY IN FIELD
GL.	GLASS/GLAZED	VERT.	VERTICAL
GYP.	GYPNUM	VEST.	VESTIBULE
H.	HOSE BIB	W	WATER CLOSET
H.B.	HIGH POINT	W.P.	WATERPROOF/WATERPROOFING
H.P.	HANDICAP/HANDICAPPED	WD.	WOOD
H.C.	HORIZONTAL	WT.	WEIGHT
HORIZ.	HEATING, VENTILATING & AIR CONDITIONING		
HYAC			
INSUL.	INSULATION		
INT.	INTERIOR		
JAN.	JANITOR		

SYMBOL LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING TO BE REMOVED - DEMOLITION PLANS
	ITEM OVERHEAD (TYP.) - CONSTRUCTION PLANS
	NEW CONSTRUCTION
	NEW SHEAR WALL
	DRAWING NO. 1
	SHEET NO. 2
	DRAWING NO. 3
	SHEET NO. 4
	DRAWING NO. 5
	SHEET NO. 6
	DRAWING NO. 7
	SHEET NO. 8
	DRAWING NO. 9
	SHEET NO. 10
	DRAWING NO. 11
	SHEET NO. 12
	DRAWING NO. 13
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	DRAWING NO. 97
	SHEET NO. 98
	DRAWING NO. 99
	SHEET NO. 100

ARCHITECT

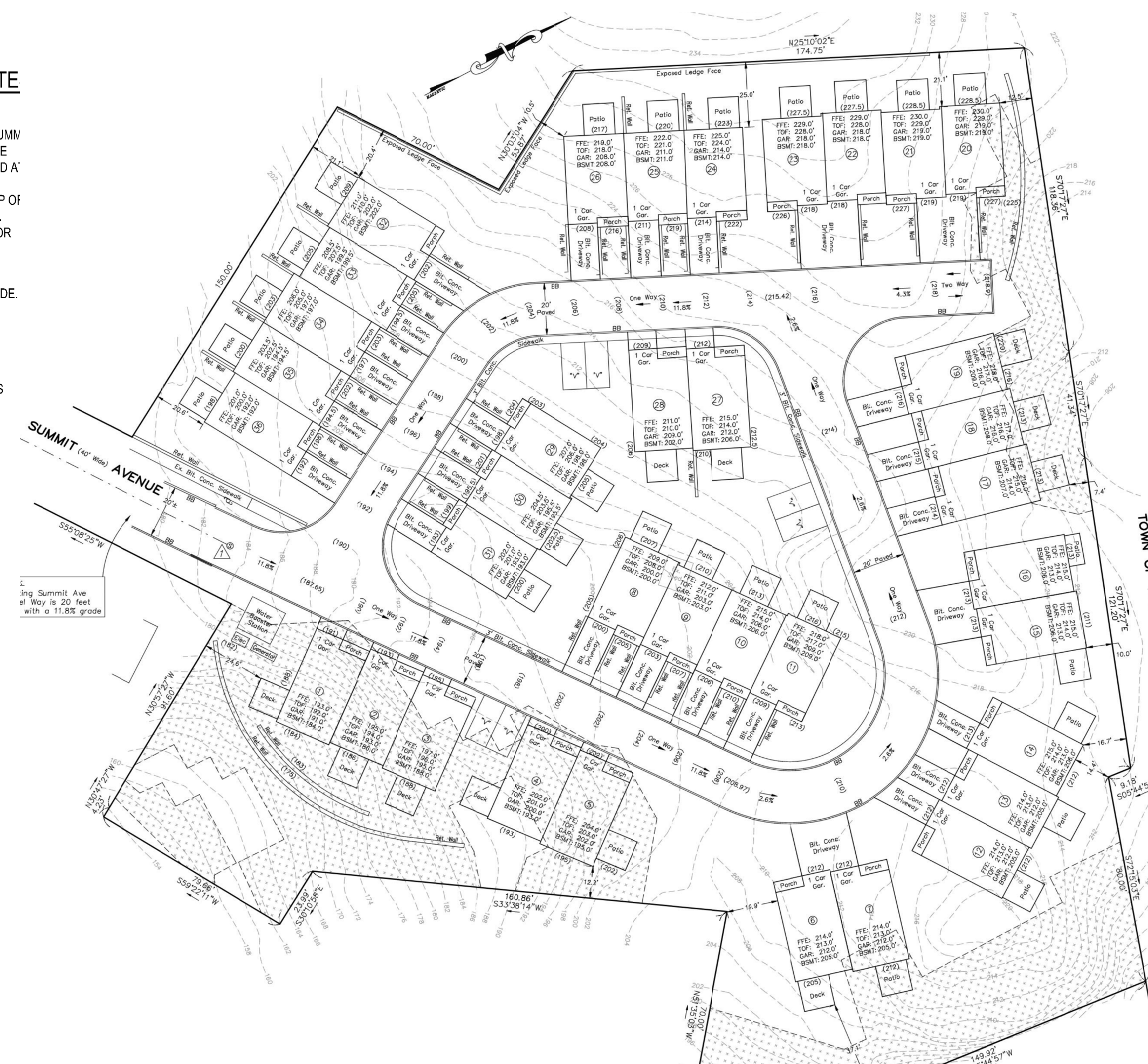
SCOTT MELCHING ARCHITECT LLC
116 ARCH STREET
NEEDHAM MA 02462

SCOPE OF WORK AND BUILDING DEPARTMENT NOTE

- THE SCOPE OF WORK CONSISTS OF NEW DEVELOPMENT AT THE TOP OF SUMM AVENUE CONSISTING OF TWO SITE SPECIFIC DESIGNED TOWNHOUSE STYLE BUILDING TYPES. TOWNHOUSES WILL FEATURE A 1-CAR GARAGE ACCESSED EITHER THE MAIN LEVEL, OR LOWER LEVEL. THE MAJORITY OF THE TOWNHOUSES WILL BE IN GROUPS OF 2 OR 3, WITH ONE SECTION BEING A GROUP OF IN FRONT OF EACH TOWNHOME THERE WILL BE A COVERED FRONT PORCH. BEHIND EACH TOWNHOME THERE WILL BE DEDICATED OUTDOOR SPACE FOR EACH UNIT WITH EITHER AN ELEVATED DECK OR A PATIO AT GRADE.
- ALL NEW WORK SHALL COMPLY WITH THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE AND ENERGY CONSERVATION CODE.
- ALL WORK SHALL COMPLY WITH ALL PUBLIC SAFETY REGULATIONS OF AGENCIES HAVING JURISDICTION, INCLUDING ALL OSHA REQUIREMENTS.
- DESIGN CONFORMS TO THE FOLLOWING:
- MASSACHUSETTS BUILDING CODE, 9TH EDITION + CURRENT AMENDMENTS
- INTERNATIONAL RESIDENTIAL CODE, 2012 EDITION

LIST OF DRAWINGS

- T-1 TITLE SHEET, DRAWING LIST, NOTES & SITE PLAN OF LAND
- A-1 TOWNHOUSE MODEL A & A1 - CELLAR & GROUND FLOOR PLANS
- A-2 TOWNHOUSE MODEL A & A1 - SECOND & ATTIC FLOOR PLANS
- A-3 TOWNHOUSE MODEL A & A1 - ROOF PLAN
- A-4 TOWNHOUSE MODEL A & A1 - EXTERIOR ELEVATIONS & SECTION
- A-5 TOWNHOUSE MODEL B & B1 - ILLUSTRATIVE RENDERING
- A-6 TOWNHOUSE MODEL B & B1 - CELLAR & GROUND FLOOR PLANS
- A-7 TOWNHOUSE MODEL B & B1 - SECOND & ATTIC FLOOR PLANS
- A-8 TOWNHOUSE MODEL B & B1 - ROOF PLAN
- A-9 TOWNHOUSE MODEL B & B1 - EXTERIOR ELEVATIONS & SECTION
- A-10 TOWNHOUSE MODEL B & B1 - ILLUSTRATIVE RENDERING



1 SITE PLAN OF LAND

SCALE: REFER TO SCALE ON DRAWING

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SCHEMATIC DESIGN 2023 12-06
ISSUED FOR BUILDER REVIEW 2023 12-04

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ARCHITECT
NEEDHAM, MA 02462 | (T) 718.578.3354
NORTH SHORE RESIDENTIAL DEVELOPMENT, INC.
BUILDER
WOBURN, MA 01801 | (T) 781.932.1776

PROJECT:
SUMMIT RIDGE
MELROSE | MA | 02176

DRAWING TITLE:
TITLE PAGE, DRAWING LIST,
NOTES, & SITE PLAN OF LAND

SHEET NUMBER:

T - 1

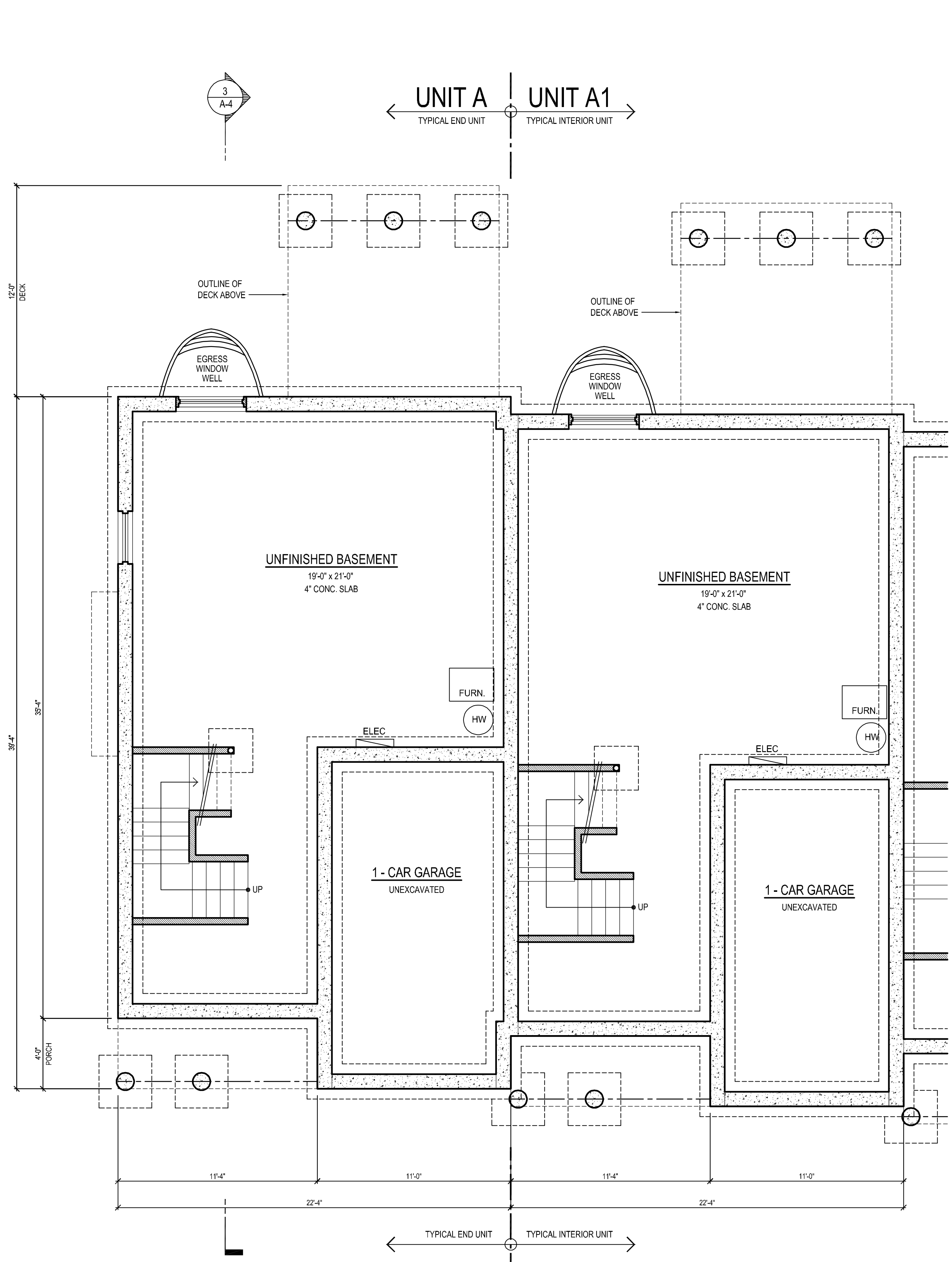
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DATE: 2023 12 - 06
ISSUE: SCHEMATIC DESIGN

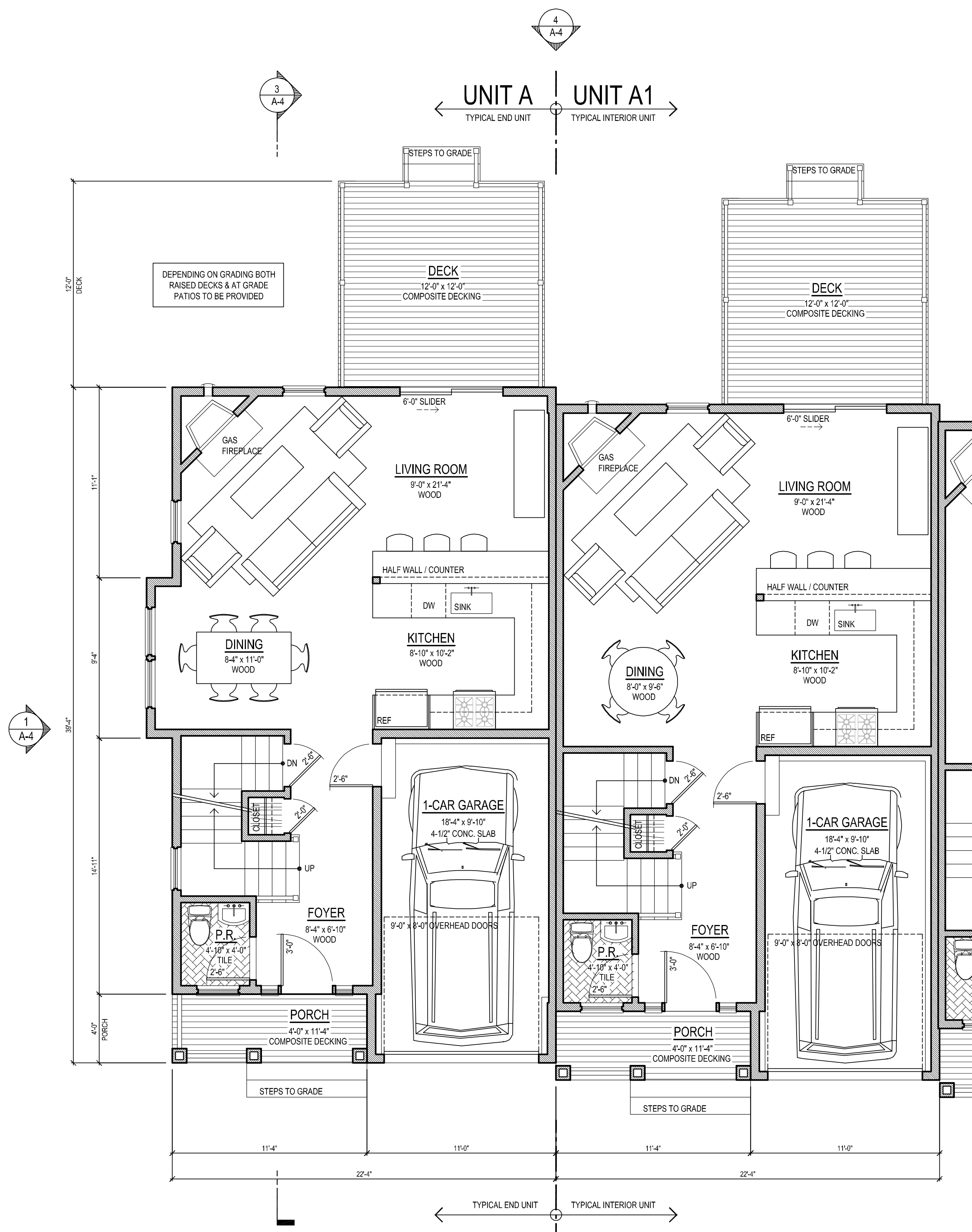
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MELROSE MA 02176

NORTH SHORE RESIDENTIAL DEVELOPMENT



1 CELLAR FLOOR PLANS
SCALE: 1/4" = 1'-0"



2 GROUND FLOOR PLANS
SCALE: 1/4" = 1'-0"

**UNIT A - END UNIT
BUILDING DATA**

1ST FLOOR LIVING AREA	652 SF
2ND FLOOR LIVING AREA	833 SF
TOTAL FINISHED LIVING AREA	1,485 SF
HALF STORY (ATTIC FLOOR)	(446 SF)
GARAGE	(196 SF)
FRONT PORCH	(45 SF)
DECK	(145 SF)

* MEASURED TO EXTERIOR FACE OF EXTERIOR WALL & MIDDLE OF SHARED PARTY WALL.

**UNIT A1 - INTERIOR UNIT
BUILDING DATA**

1ST FLOOR LIVING AREA	638 SF
2ND FLOOR LIVING AREA	833 SF
TOTAL FINISHED LIVING AREA	1,471 SF
HALF STORY (ATTIC FLOOR)	(446 SF)
GARAGE	(196 SF)
FRONT PORCH	(45 SF)
DECK	(145 SF)

* MEASURED TO EXTERIOR FACE OF EXTERIOR WALL & MIDDLE OF SHARED PARTY WALL.

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NORTH SHORE RESIDENTIAL DEVELOPMENT, INC.
BUILDER
WOBBURN, MA 01801 | (T) 781.932.1776

PROJECT:
SUMMIT RIDGE
MELROSE | MA | 02176
DRAWING TITLE:
TOWNHOUSE MODEL A & A1
CELLAR & GROUND FLOOR PLANS

SHEET NUMBER:

A-1

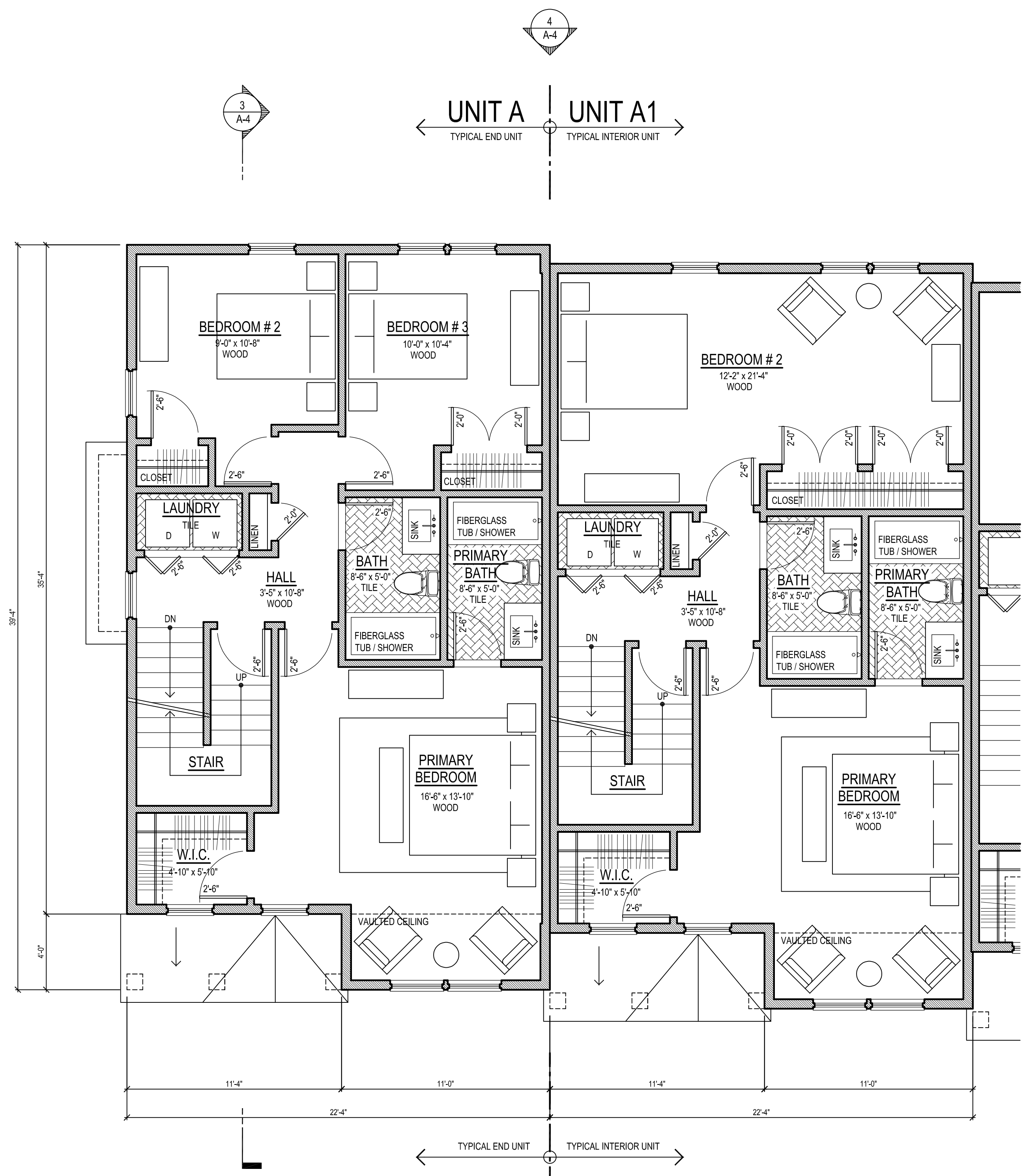
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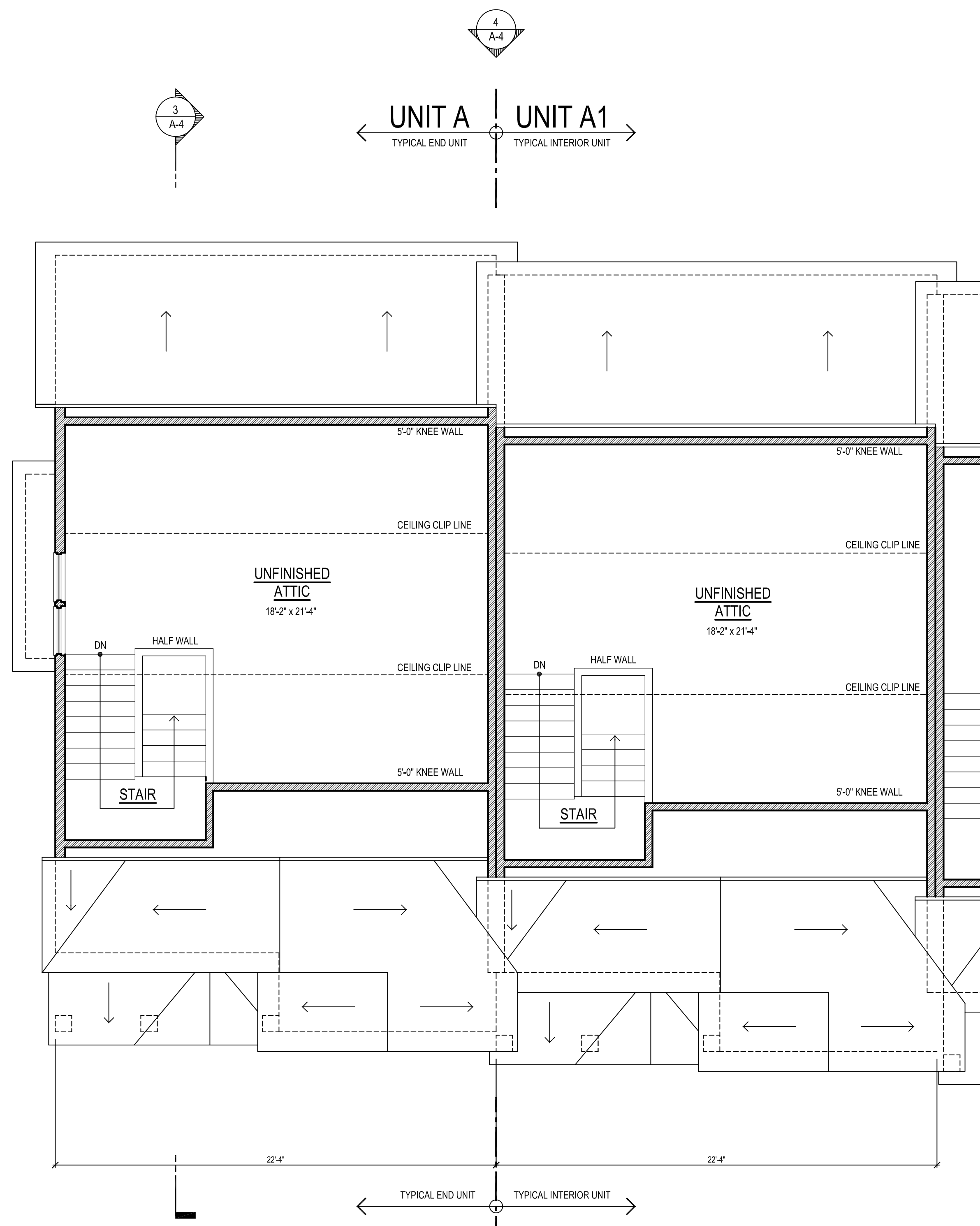
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1 SECOND FLOOR PLANS
SCALE: 1/4" = 1'-0"



2 ATTIC FLOOR PLANS
SCALE: 1/4" = 1'-0"

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NORTH SHORE RESIDENTIAL DEVELOPMENT, INC.
BUILDER
WOBBURN, MA 01801 | (T) 781.932.1776

PROJECT:
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DRAWING TITLE:
TOWNHOUSE MODEL A & A1
SECOND & ATTIC FLOOR PLANS

SHEET NUMBER:

A-2

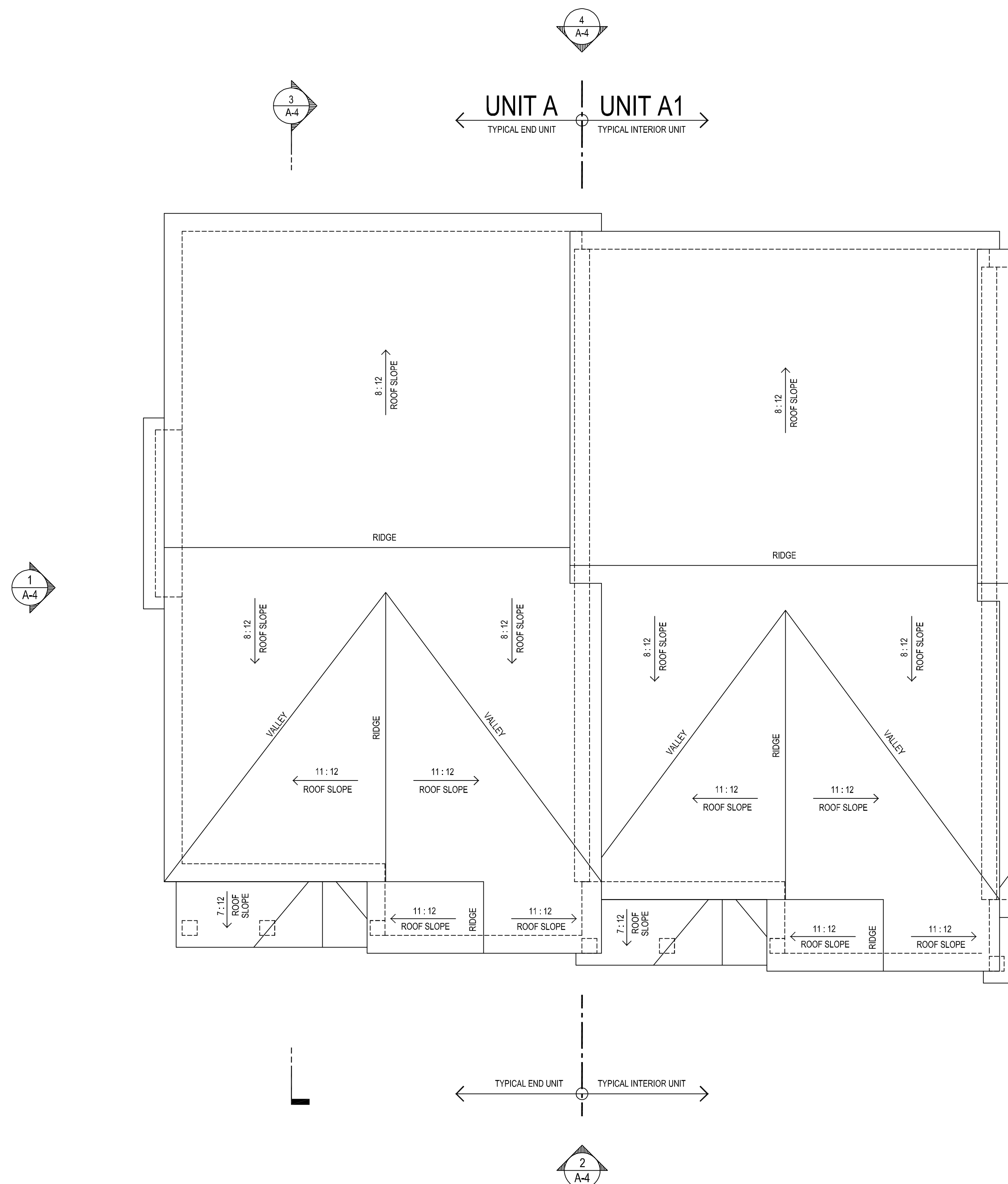
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1 ROOF PLAN
SCALE: 1/4" = 1'-0"

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NORTH SHORE RESIDENTIAL DEVELOPMENT, INC.
BUILDER
WOBURN, MA 01801 | (T) 781.932.1776

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DRAWING TITLE:
TOWNHOUSE MODEL A & A1
ROOF PLAN

SHEET NUMBER:

A-3

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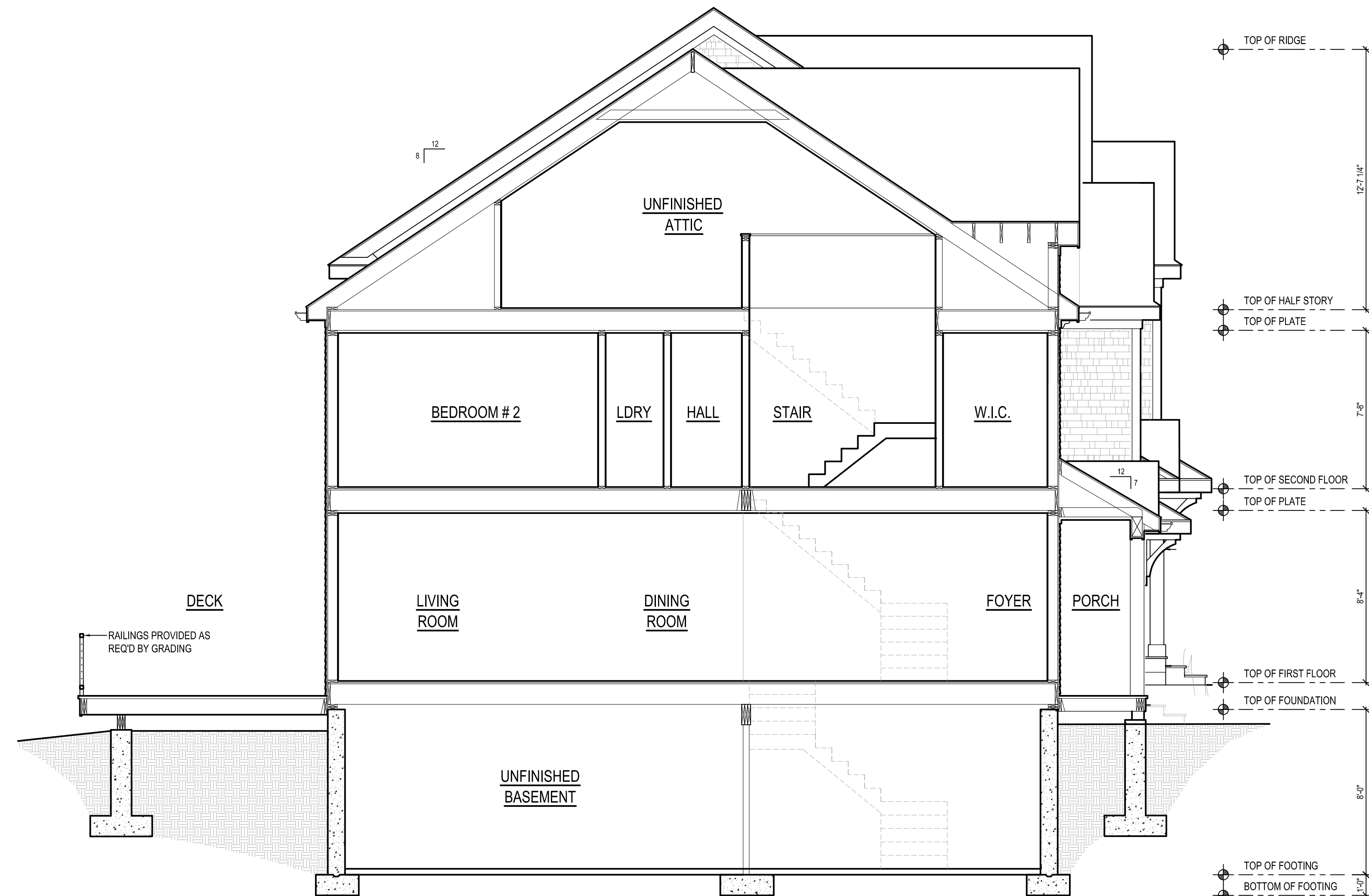
NORTH SHORE RESIDENTIAL DEVELOPMENT



1 LEFT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 FRONT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 BUILDING SECTION
SCALE: 1/4" = 1'-0"



4 REAR EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

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BUILDER
WOBBURN, MA 01801 | (T) 781.932.1776

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DRAWING TITLE:
TOWNHOUSE MODEL A & A1
EXTERIOR ELEVATIONS & SECTION

SHEET NUMBER:

A - 4

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1 ILLUSTRATIVE STREET VIEW OF TOWNHOUSES
NOT TO SCALE

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NORTH SHORE RESIDENTIAL DEVELOPMENT, INC.
BUILDER
WOBURN, MA 01801 | (T) 781.832.1778

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DRAWING TITLE:
TOWNHOUSE MODEL A & A1
ILLUSTRATIVE RENDERING

SHEET NUMBER:

A - 5

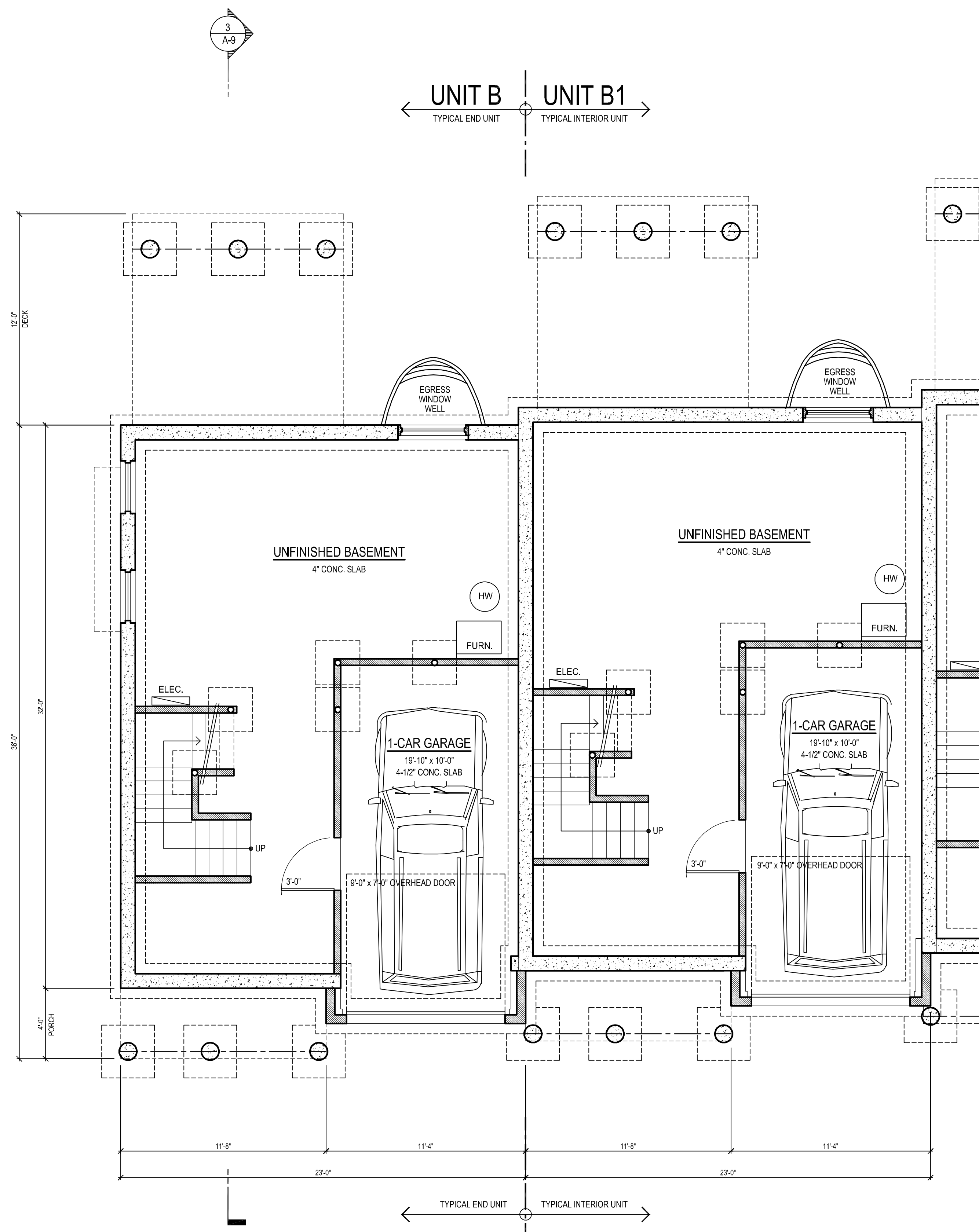
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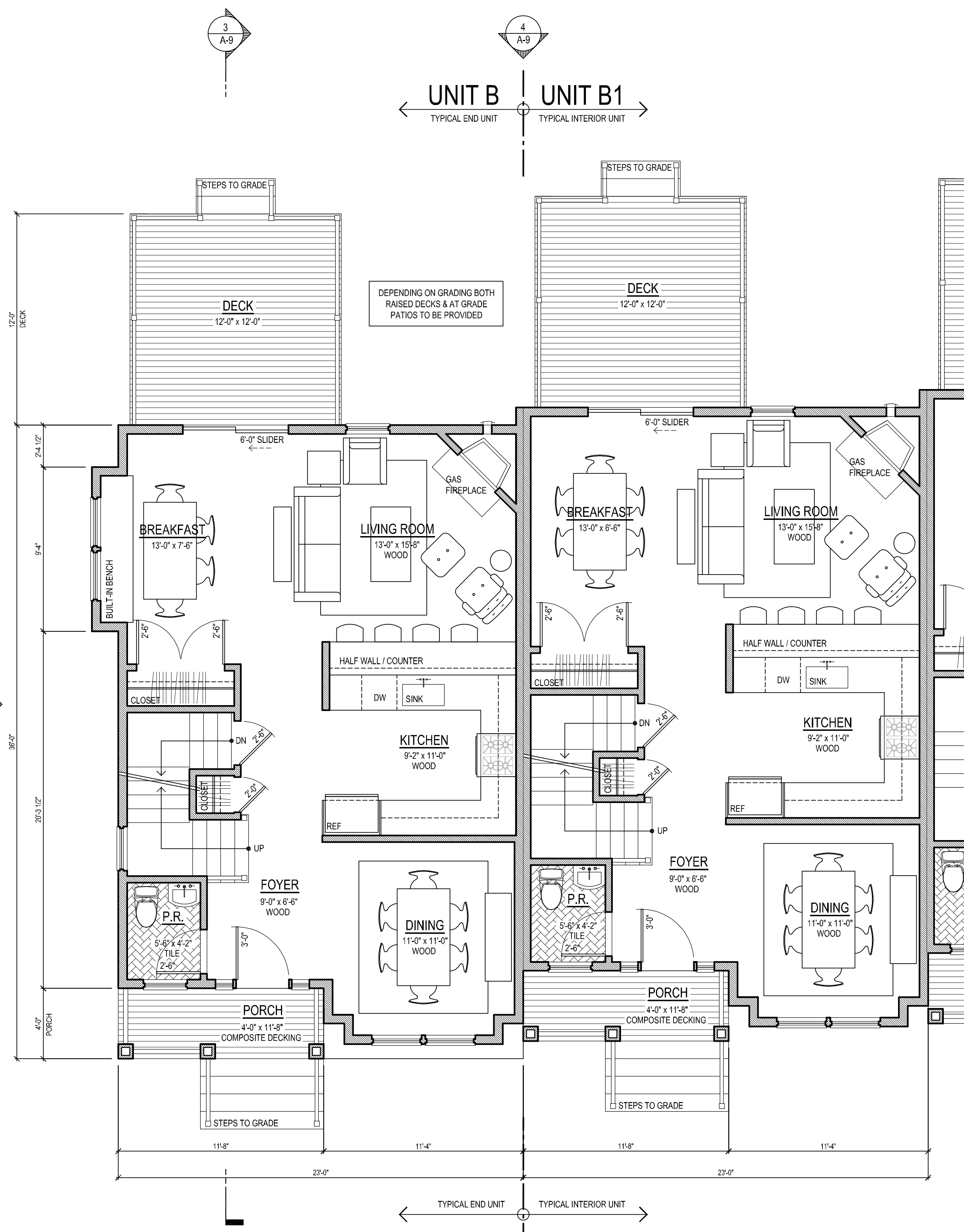
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NORTH SHORE RESIDENTIAL DEVELOPMENT



1 CELLAR FLOOR PLANS
SCALE: 1/4" = 1'-0"



2 GROUND FLOOR PLANS
SCALE: 1/4" = 1'-0"

UNIT B - END UNIT BUILDING DATA

1ST FLOOR LIVING AREA	783 SF
2ND FLOOR LIVING AREA	759 SF
TOTAL FINISHED LIVING AREA	1,542 SF
HALF STORY (ATTIC FLOOR)	(405 SF)
GARAGE	(215 SF)
FRONT PORCH	(45 SF)
DECK	(145 SF)

* MEASURED TO EXTERIOR FACE OF EXTERIOR WALL & MIDDLE OF SHARED PARTY WALL.

UNIT B1 - INTERIOR UNIT BUILDING DATA

1ST FLOOR LIVING AREA	770 SF
2ND FLOOR LIVING AREA	767 SF
TOTAL FINISHED LIVING AREA	1,537 SF
HALF STORY (ATTIC FLOOR)	(405 SF)
GARAGE	(215 SF)
FRONT PORCH	(45 SF)
DECK	(145 SF)

* MEASURED TO EXTERIOR FACE OF EXTERIOR WALL & MIDDLE OF SHARED PARTY WALL.

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NORTH SHORE RESIDENTIAL DEVELOPMENT, INC.
BUILDER
WOBURN, MA 01801 | (T) 781.932.1776

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DRAWING TITLE:
TOWNHOUSE MODEL B & B1
CELLAR & GROUND FLOOR PLANS

SHEET NUMBER:

A-6

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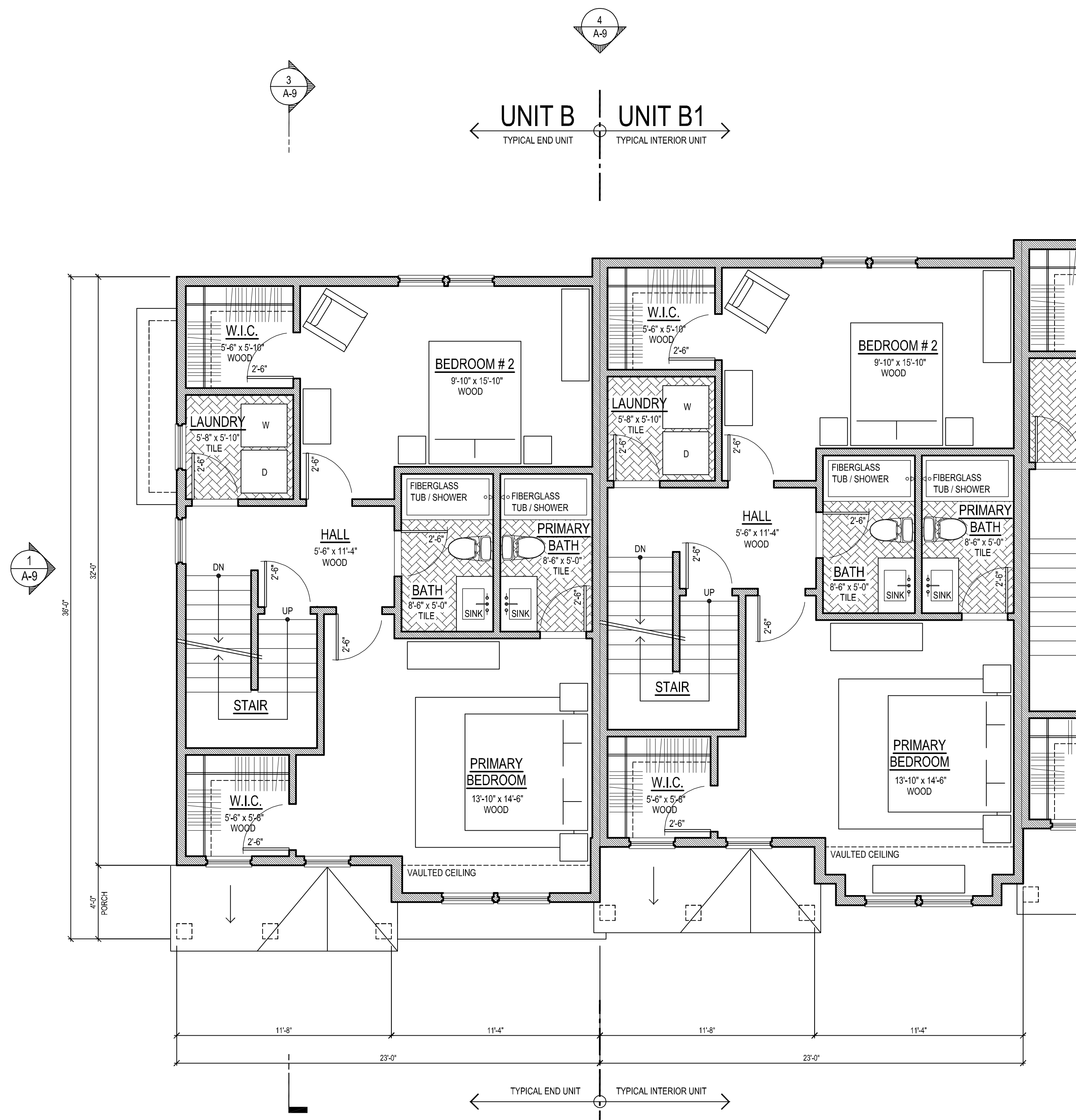
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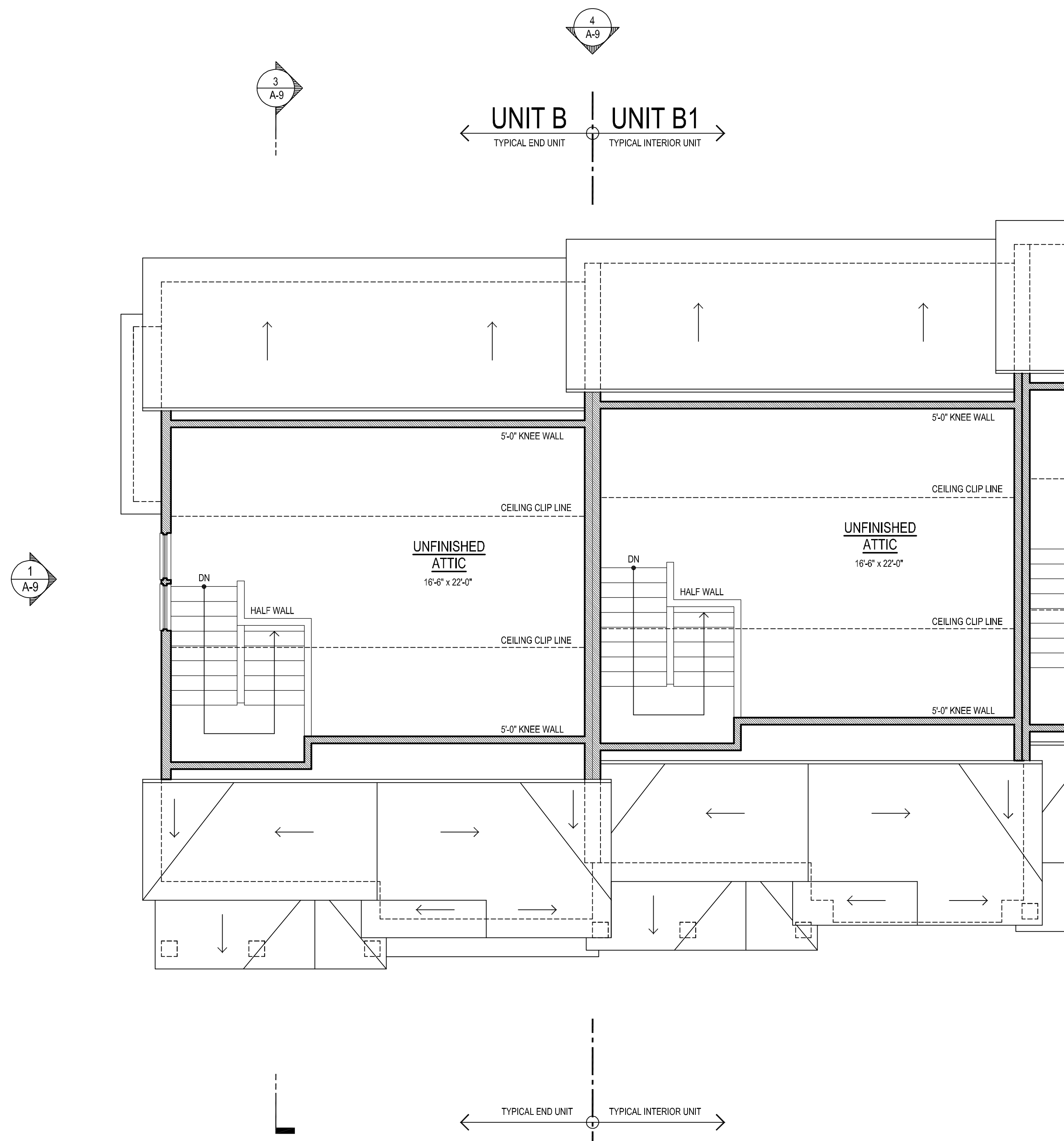
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1 SECOND FLOOR PLANS
SCALE: 1/4" = 1'-0"



2 ATTIC FLOOR PLANS
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WOBURN, MA 01801 | (T) 781.932.1776

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DRAWING TITLE:
TOWNHOUSE MODEL B & B1
SECOND & ATTIC FLOOR PLANS

SHEET NUMBER:

A-7

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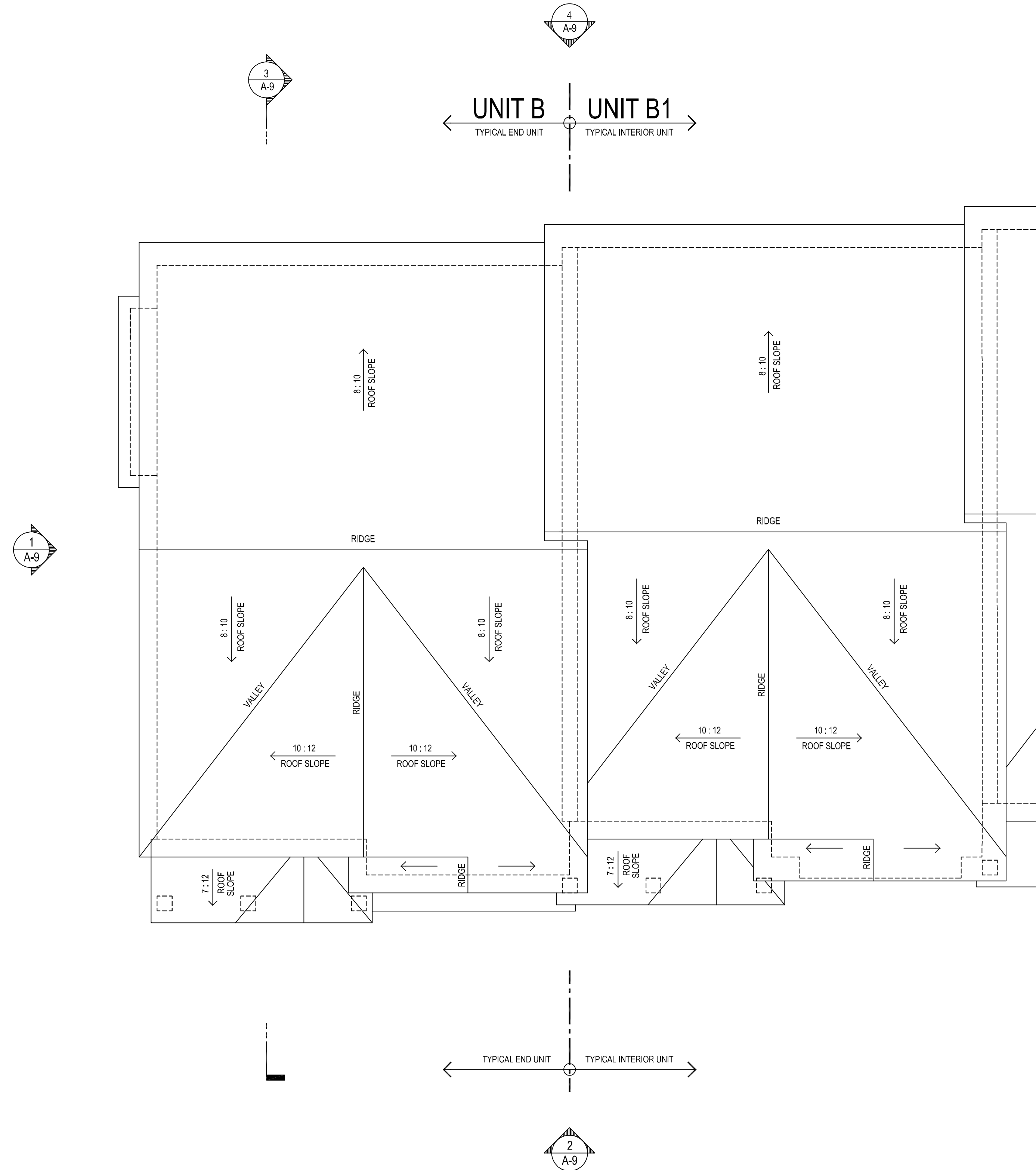
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WOBBURN, MA 01801 | (T) 781.932.1776

PROJECT:
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DRAWING TITLE:
TOWNHOUSE MODEL B & B1
ROOF PLAN

SHEET NUMBER :

A - 8

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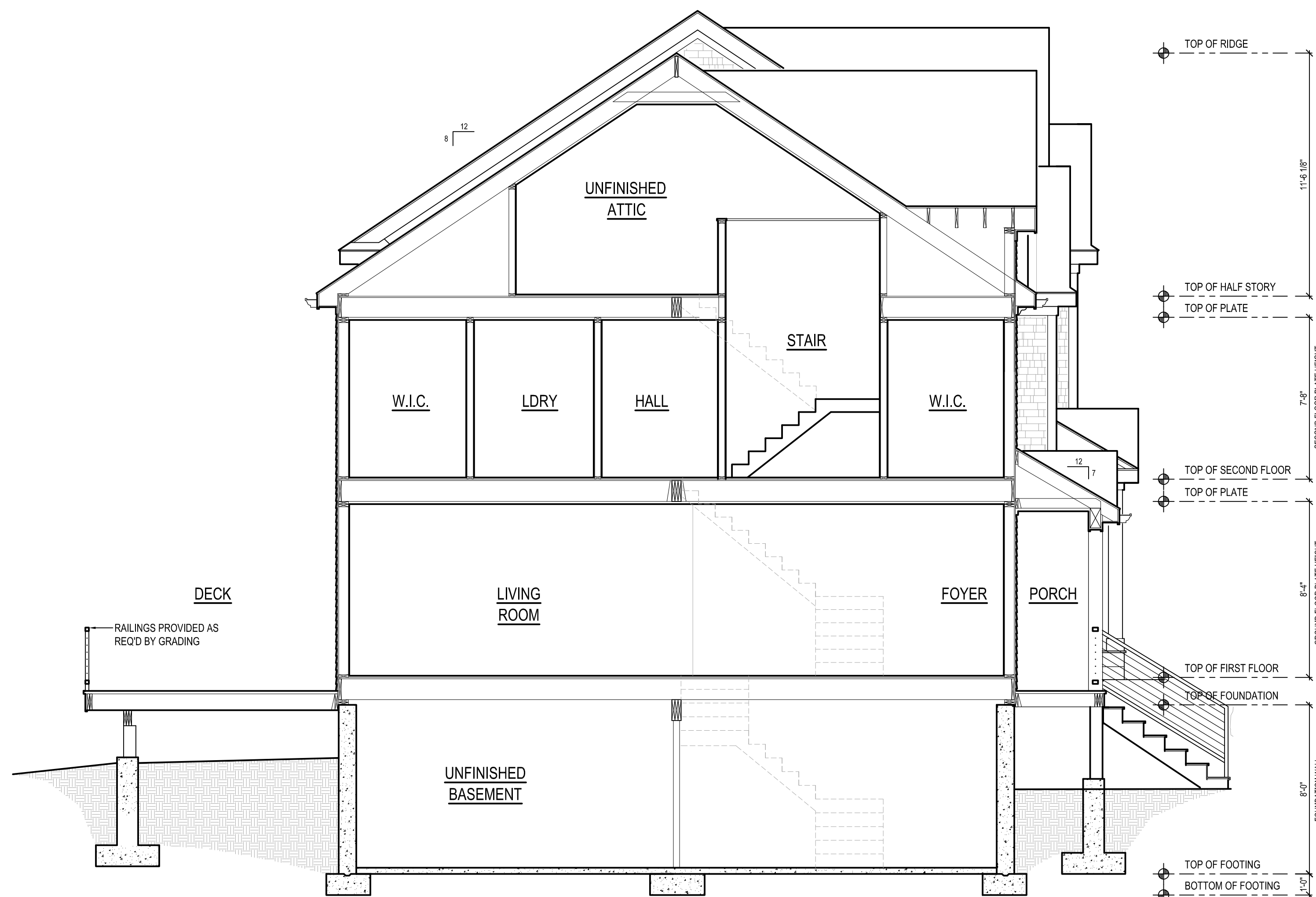
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1 LEFT EXTERIOR ELEVATION
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2 FRONT EXTERIOR ELEVATION
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3 BUILDING SECTION
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4 REAR EXTERIOR ELEVATION
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WOBURN, MA 01801 | (T) 781.932.1776

PROJECT:
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MELROSE | MA | 02176

DRAWING TITLE:
TOWNHOUSE MODEL B & B1
EXTERIOR ELEVATIONS & SECTION

SHEET NUMBER:

A-9

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1 ILLUSTRATIVE STREET VIEW OF TOWNHOUSES
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NORTH SHORE RESIDENTIAL
DEVELOPMENT, INC.
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WOBBURN, MA 01801 | (T) 781.832.1776

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DRAWING TITLE:
TOWNHOUSE MODEL B & B1
ILLUSTRATIVE RENDERING

SHEET NUMBER:

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