

SITE PLAN SET
**PROPOSED 7-UNIT RESIDENTIAL
 MULTI-FAMILY BUILDING**

PROJECT LOCATION:
**373 PLEASANT STREET
 MELROSE, MA 02176**

SHEET INDEX

- C-0 COVER SHEET
- C-1 EXISTING CONDITIONS PLOT PLAN
- C-2 EROSION CONTROL AND DEMO PLAN
- C-3 GARBAGE REMOVAL AND SITE PLAN
- C-4 GRADING AND UTILITIES PLAN
- C-5 VEHICLE SIMULATION
- C-6 DETAILS SHEET 1
- C-7 DETAILS SHEET 2

PARKING SUMMARY

PARKING CODE B-DWELLING, MULTIFAMILY - REQUIRED 2 SPACES
 PER DWELLING UNIT = 7 UNITS x 2 = 14 SPACES

	REQUIRED	PROPOSED	RELIEF REQUIRED
PARKING	14	14	N

ZONING SUMMARY

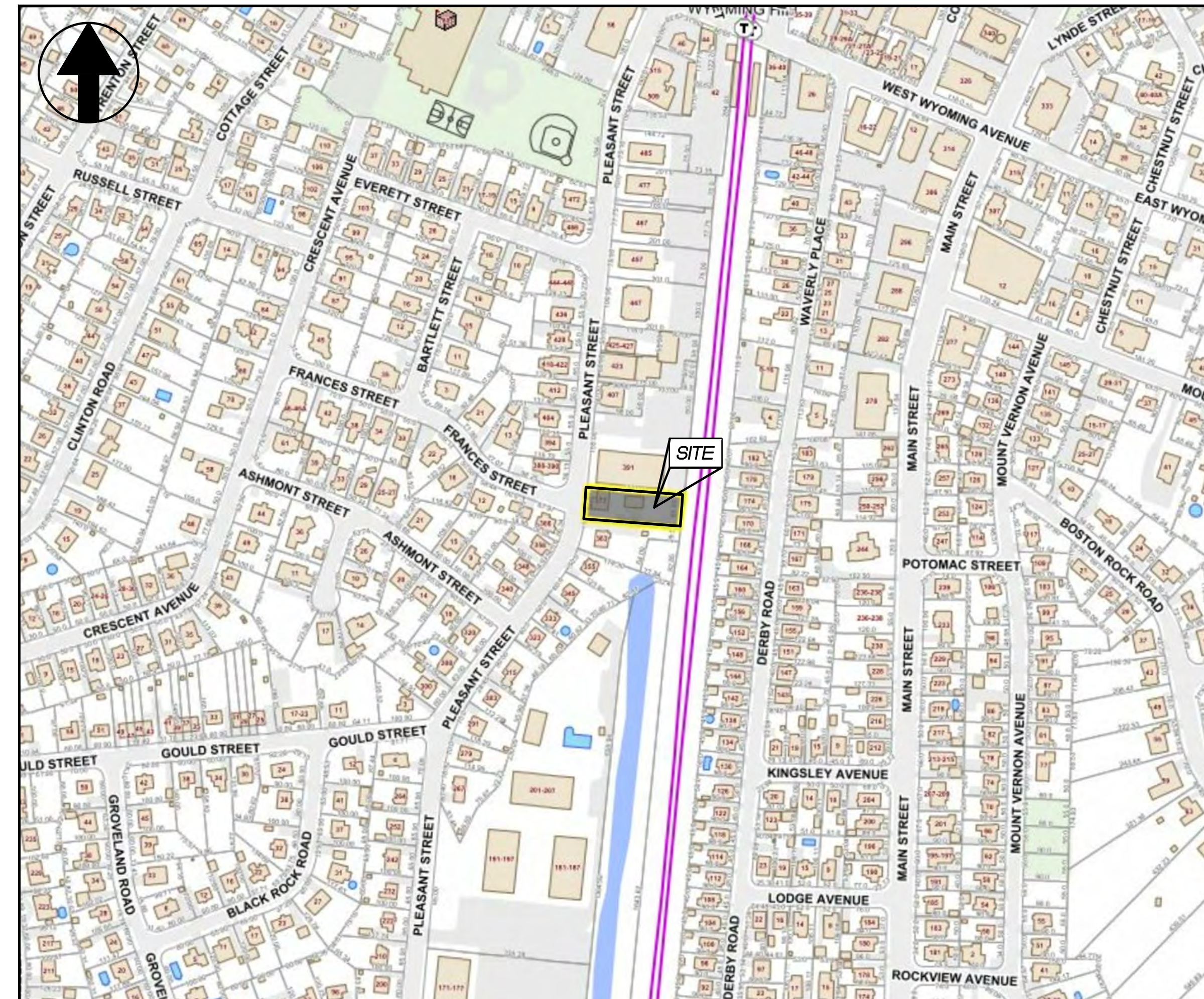
URBAN RESIDENCE C (UR-C)

	REQUIRED	PROVIDED	RELIEF REQUIRED
MIN LOT AREA	⁽¹⁾ 13,500 SF	13,186 SF	Y
MIN. LOT FRONTAGE & LOT WIDTH	100'	65.6'	Y
MIN LOT DEPTH	90'	201'	N
MIN FRONT YARD	20'	13.4'	Y
MIN SIDE YARD	10'	10'	N
MIN REAR YARD	15'	43.75'	N
MAX HEIGHT	50'	⁽²⁾ ±32'	N
MAX STORIES	4	3	N
MAX LOT COVERAGE	50%	37.8%	N
MAX FLOOR AREA	1	0.997	N
MIN OPEN SPACE	20%	21.2%	N

⁽¹⁾ 6,000 SF + 1,250 SF X 6 UNITS = 13,500 SF
⁽²⁾ REFER TO ARCHITECTURAL PLANS

VARIANCE LIST

1. MINIMUM LOT AREA FOR SEVEN (7) UNIT MULTI-FAMILY.
2. MINIMUM LOT FRONTAGE IN UR-C ZONING DISTRICT. (EXISTING NON-CONFORMING)
3. MINIMUM FRONT YARD SETBACK.



LOCUS MAP
 SCALE: 1" = 200'

PREPARED FOR:
 (APPLICANT)
BOGHOS PROPERTIES
 655 E 2ND STREET, UNIT 204
 BOSTON, MA 02127

PREPARED BY:
FODERA ENGINEERING
 28 HARBOR STREET, SUITE 204
 DANVERS, MA 01923
 (617) 877-3293

PROPERTY INFORMATION

ADDRESS: 373 PLEASANT STREET, MELROSE, MA 02176
 RECORD OWNER: RAYMOND ANTHONY BOGHOS, 655 E 2ND STREET, UNIT 204, BOSTON, MA 02127
 LOT SIZE: 13,186 S.F. (0.30± AC.)
 ZONING DISTRICT: URBAN RESIDENCE C (UR-C)
 PARCEL ID: B5-0-122

GENERAL NOTES

1. THE EXISTING PARCEL CONTAINS A SINGLE-FAMILY RESIDENTIAL DWELLING AND THE PROPOSED PROJECT IS TO CONSTRUCT A MULTI-FAMILY BUILDING THAT CONTAINS SEVEN (7) DWELLING UNITS.
2. BOUNDARY, TOPOGRAPHIC, AND PLANIMETRIC INFORMATION WAS OBTAINED FROM AN ON-THE-GROUND SURVEY PERFORMED AND COMPLETED BY FODERA ENGINEERING.
3. THE PROJECT IS LOCATED WITHIN THE RIVERFRONT AREA OF SPOT POND BROOK. SPOT POND BROOK IS A HUMAN-MADE CHANNEL AND WAS DELINEATED BY NORSE ENVIRONMENTAL IN NOVEMBER 2020.
4. THE SITE DOES NOT CONTAIN AREAS SUBJECT TO 1% ANNUAL CHANCE OF FLOODING AND IS IN ZONE "X" AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP (FIRM) 25017C0429E WITH AN EFFECTIVE DATE OF 6/4/2010.

UTILITIES AND CONTACTS

CABLE
 COMCAST CABLE CORPORATION
 5 OMNI WAY
 CHELMSFORD, MA 01824
 ATTN: TED QUINT
 978-848-5163
 ted_quint@comcast.com

ELECTRIC
 NATIONAL GRID ELECTRIC
 548 HAYDENVILLE ROAD
 LEEDS, MA 01053
 ATTN: SANDRA ANNIS
 413-582-7424
 sandra.annis@nationalgrid.com

GAS
 NATIONAL GRID GAS
 40 SYLVAN ROAD
 WALTHAM, MA 02451
 ATTN: MELISSA OWENS
 781-907-2845
 melissa.owens@nationalgrid.com

TELEPHONE
 VERIZON
 385 MYLES STANDISH BLVD.
 TAUNTON, MA 02780
 ATTN: KAREN MEALEY
 774-409-3160
 karen.m.mealey@verizon.com

WATER AND SEWER
 MELROSE DPW-WATER & SEWER
 562 MAIN STREET
 MELROSE, MA 02176
 781-979-4175

FIRE ALARM
 MELROSE FIRE ALARM
 576 MAIN STREET
 MELROSE, MA 02176
 781-979-4404

REVISION BLOCK

REVISION SET	REVISION DATE	COMPLETED BY
REVISION 1	8/16/2021	GGF
NOI SUBMITTAL	10/27/2021	GGF
-	-	-
-	-	-
-	-	-
-	-	-

PREPARED BY:
FODERA ENGINEERING
 (617)877-3293
 gfodera@foderaengineering.com
 28 Harbor St., Suite 204
 Danvers, MA 01923

PREPARED FOR:
 BOGHOS PROPERTIES
 655 E 2ND ST, 204
 BOSTON, MA 02127
 781-820-5129

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REVISION	DATE	BY
REVISION 1	8/16/21	GGF
NOI SUBMITTAL	10/27/21	GGF

PROJECT LOCATION:
 373 PLEASANT STREET
 MELROSE, MA 02176
PARCEL ID:
 MAP B5, LOT 122

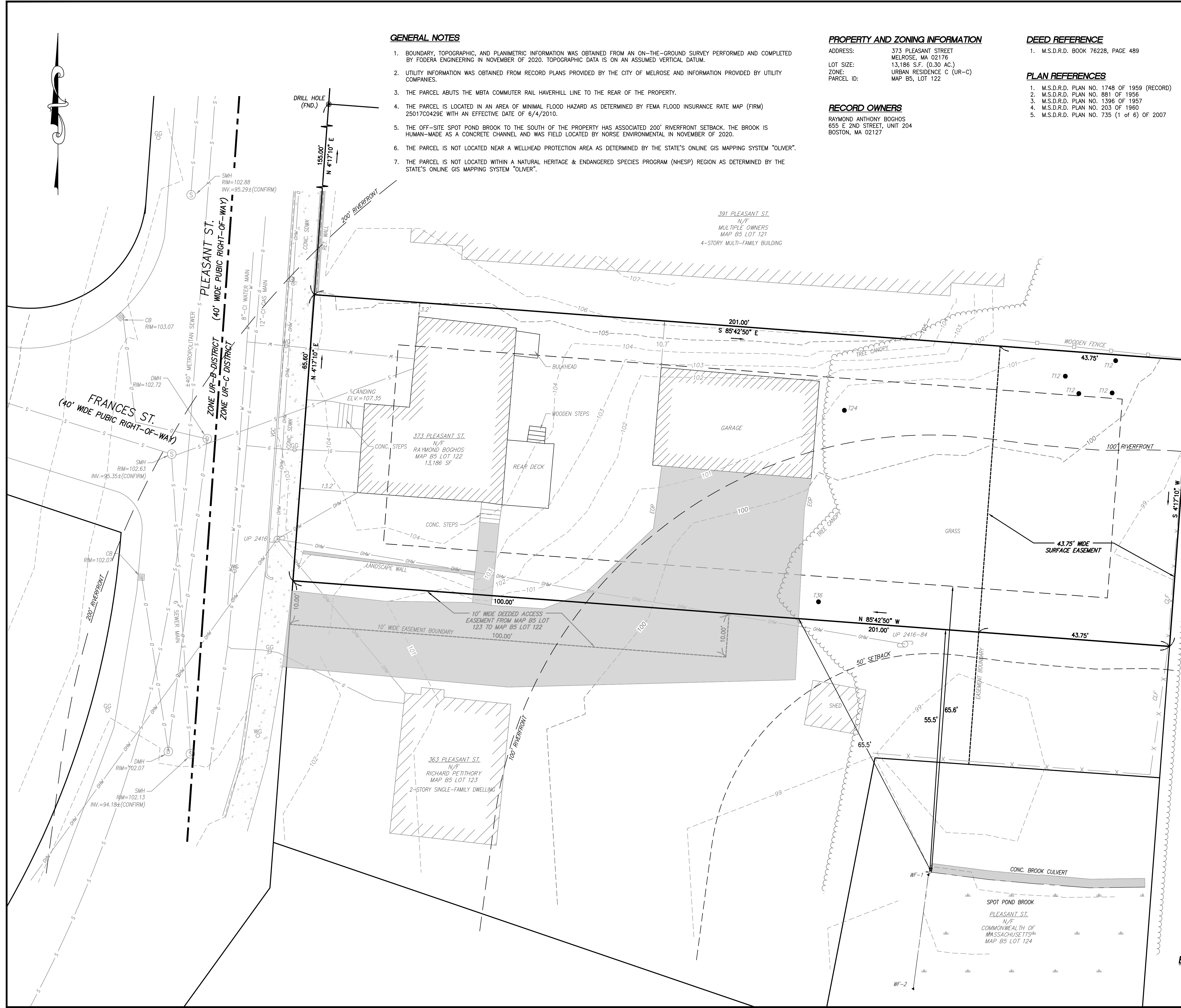
PLAN SET:
**PROPOSED 7-UNIT RESIDENTIAL
 MULTI-FAMILY BUILDING**
 SCALE: N.T.S.
 MAY 17, 2021



JOB NO.: 20179-176

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-0



GENERAL NOTES

- BOUNDARY, TOPOGRAPHIC, AND PLANIMETRIC INFORMATION WAS OBTAINED FROM AN ON-THE-GROUND SURVEY PERFORMED AND COMPLETED BY FODERA ENGINEERING IN NOVEMBER OF 2020. TOPOGRAPHIC DATA IS ON AN ASSUMED VERTICAL DATUM.
- UTILITY INFORMATION WAS OBTAINED FROM RECORD PLANS PROVIDED BY THE CITY OF MELROSE AND INFORMATION PROVIDED BY UTILITY COMPANIES.
- THE PARCEL ABUTS THE MBTA COMMUTER RAIL HAVERHILL LINE TO THE REAR OF THE PROPERTY.
- THE PARCEL IS LOCATED IN AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP (FIRM) 25017C0429E WITH AN EFFECTIVE DATE OF 6/4/2010.
- THE OFF-SITE SPOT POND BROOK TO THE SOUTH OF THE PROPERTY HAS ASSOCIATED 200' RIVERFRONT SETBACK. THE BROOK IS HUMAN-MADE AS A CONCRETE CHANNEL AND WAS FIELD LOCATED BY NORSE ENVIRONMENTAL IN NOVEMBER OF 2020.
- THE PARCEL IS NOT LOCATED NEAR A WELLHEAD PROTECTION AREA AS DETERMINED BY THE STATE'S ONLINE GIS MAPPING SYSTEM "OLIVER".
- THE PARCEL IS NOT LOCATED WITHIN A NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM (NHESP) REGION AS DETERMINED BY THE STATE'S ONLINE GIS MAPPING SYSTEM "OLIVER".

PROPERTY AND ZONING INFORMATION

ADDRESS: 373 PLEASANT STREET
MELROSE, MA 02176
LOT SIZE: 13,186 S.F. (0.30 AC.)
ZONE: URBAN RESIDENCE C (UR-C)
PARCEL ID: MAP B5, LOT 122

DEED REFERENCE

- M.S.D.R.D. BOOK 76228, PAGE 489

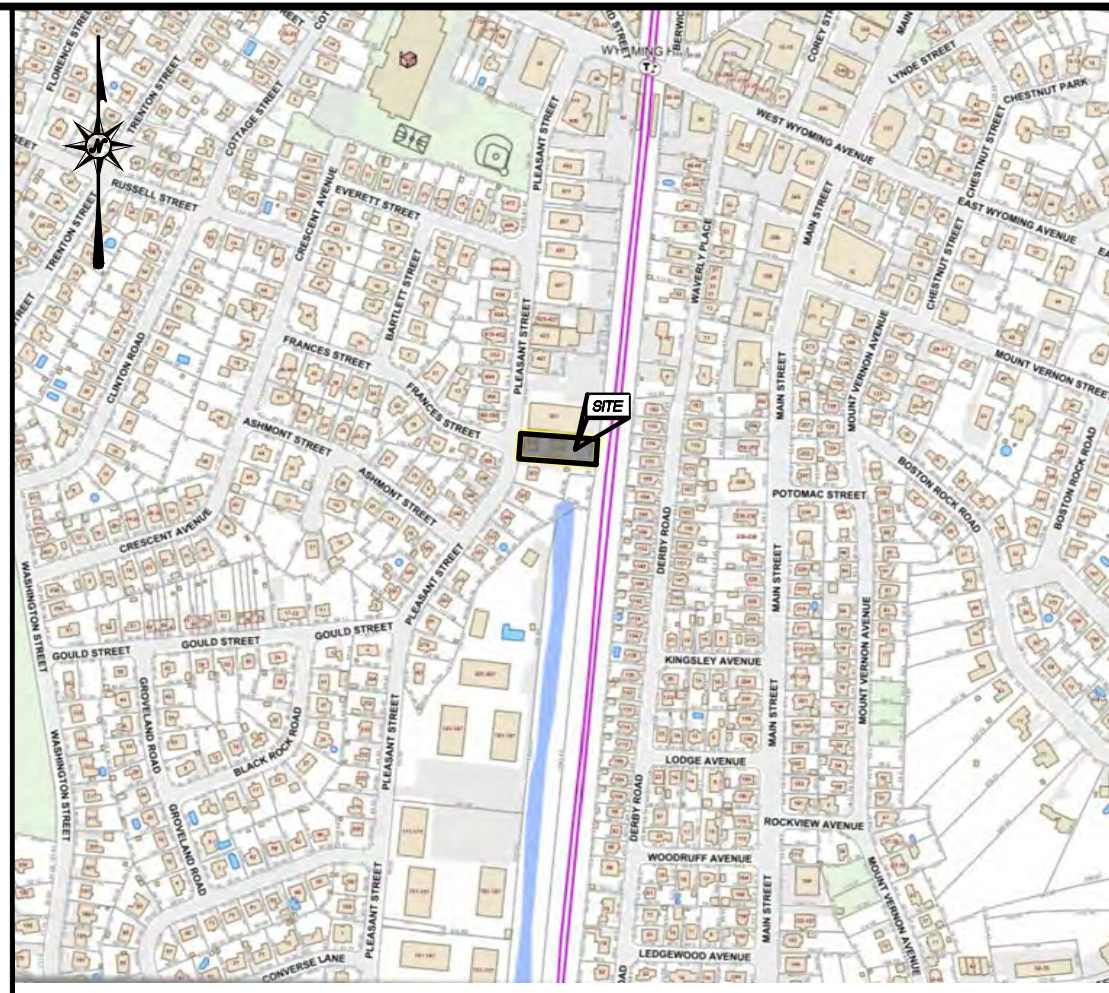
PLAN REFERENCES

- M.S.D.R.D. PLAN NO. 1748 OF 1959 (RECORD)
- M.S.D.R.D. PLAN NO. 881 OF 1956
- M.S.D.R.D. PLAN NO. 1396 OF 1957
- M.S.D.R.D. PLAN NO. 203 OF 1960
- M.S.D.R.D. PLAN NO. 735 (1 OF 6) OF 2007

RECORD OWNERS

RAYMOND ANTHONY BOGHOS
655 E 2ND STREET, UNIT 204
BOSTON, MA 02127

391 PLEASANT ST.
N/F
MULTIPLE OWNERS
MAP B5 LOT 121
4-STORY MULTI-FAMILY BUILDING



LOCUS MAP
SCALE: 1" = 500'

PREPARED BY:
FODERA ENGINEERING
(617)877-3293
gfodera@foderaengineering.com
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BOGHOS PROPERTIES
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NOI SUBMITTAL	10/27/21	GGF

ZONING SUMMARY
URBAN RESIDENCE C (UR-C)

	REQUIRED	EXISTING
MIN LOT AREA	*	13,186 SF
MIN. LOT FRONTAGE & LOT WIDTH	100'	65.60'
MIN LOT DEPTH	90'	201'
MIN FRONT YARD	20'	13.2'
MIN SIDE YARD	10'	3.2'
MIN REAR YARD	15'	>15'
MAX HEIGHT	50'	<50'
MAX STORIES	4	2
MAX LOT COVERAGE	50%	<50%
MAX FLOOR AREA	1	<1
MIN OPEN SPACE	20%	>20%

*6,000 SF PLUS 1,250 SF FOR EACH DWELLING UNIT MORE THAN 1

LEGEND

- PROPERTY LINE
- - - EASEMENT BOUNDARY
- - - BUILDING SETBACK LINE
- - - ZONING BOUNDARY
- TREE LINE
- - - 50ft RIVERFRONT SETBACK
- - - 100ft RIVERFRONT SETBACK
- - - 200ft RIVERFRONT BOUNDARY
- - - MAJOR CONTOUR
- - - MINOR CONTOUR
- X CHAIN LINK FENCE
- WOODEN POST FENCE
- G GAS UTILITY LINE
- S SANITARY SEWER UTILITY LINE
- W WATER UTILITY LINE
- D STORM DRAIN LINE
- OHW OVERHEAD UTILITY WIRE LINE
- EOP EDGE OF PAVEMENT
- UTILITY POLE
- WATER VALVE
- FIRE HYDRANT
- CATCH BASIN
- DRAIN MANHOLE
- GAS VALVE
- SEWER MANHOLE
- TREE CALIBER

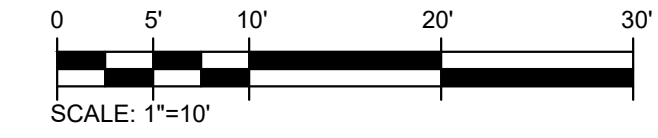
PROJECT LOCATION:
373 PLEASANT STREET
MELROSE, MA 02176
PARCEL ID:
MAP B5, LOT 122

PLAN SET:
**PROPOSED 7-UNIT RESIDENTIAL
MULTI-FAMILY BUILDING**
MAY 17, 2021
SCALE: 1" = 10'

PROFESSIONAL SEAL:
DAVID PHILIP TERENCIO
No. 54884
REGISTERED PROFESSIONAL ENGINEER

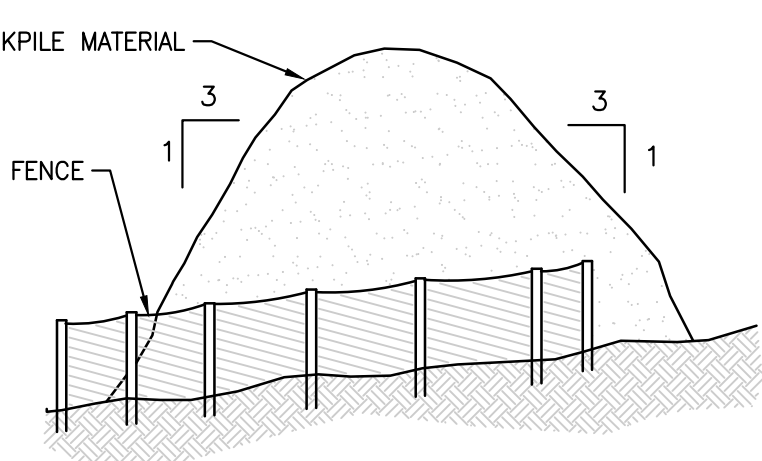
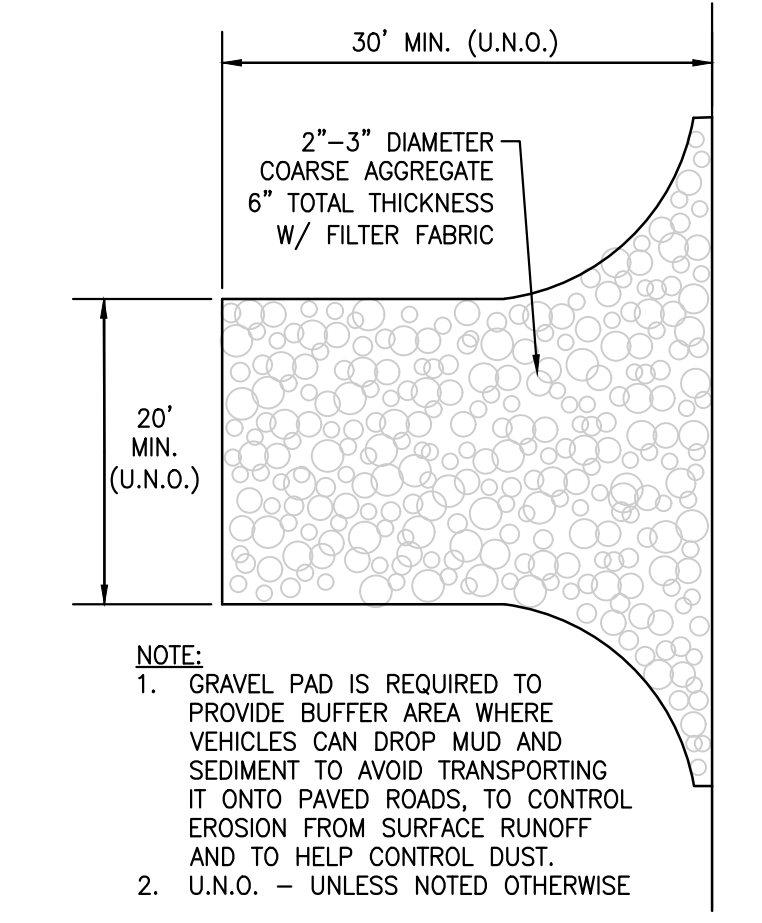
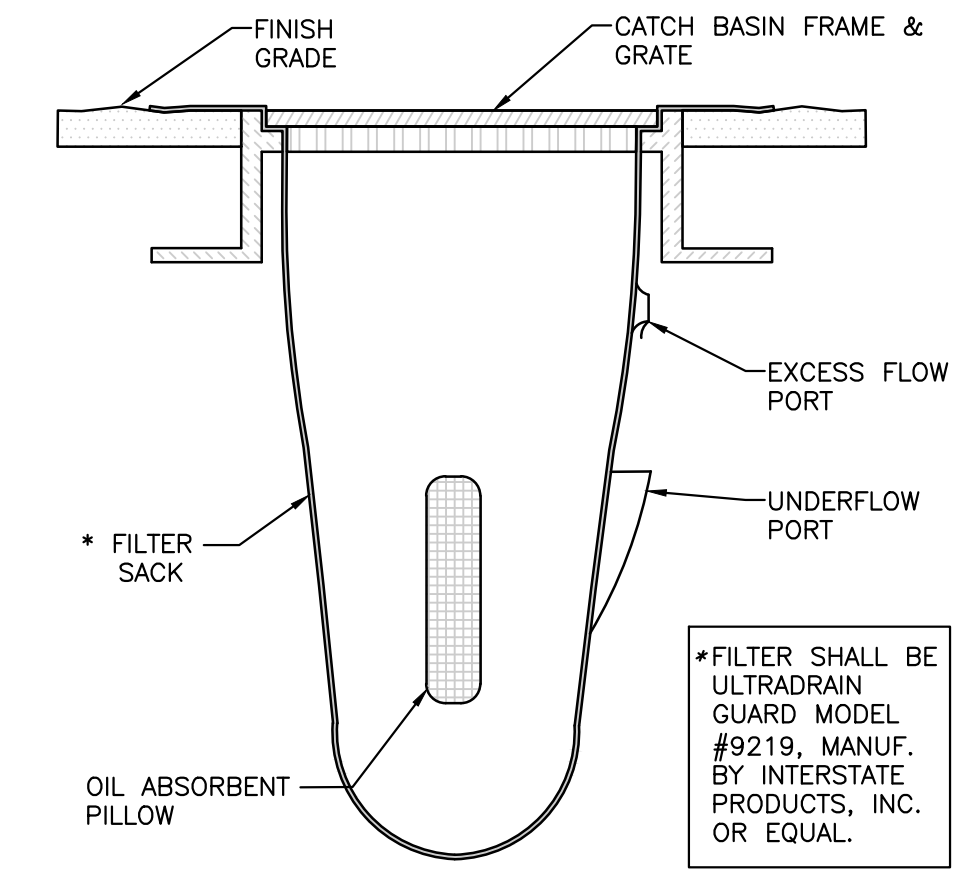
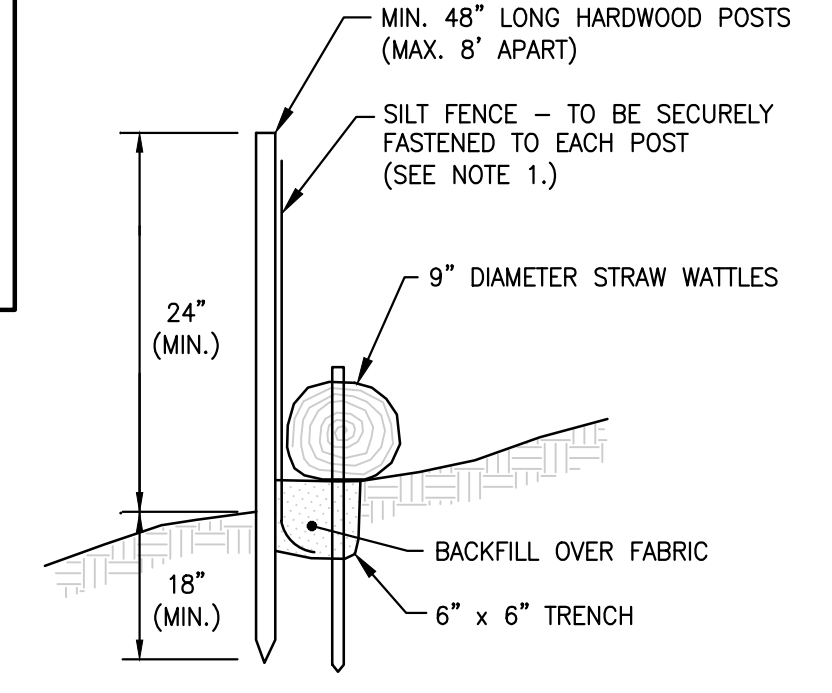
JOB NO.: 20179-176
SHEET TITLE:
EXISTING CONDITIONS PLOT PLAN
SHEET NUMBER:
C-1

EXISTING CONDITIONS PLOT PLAN



CONSTRUCTION NOTES

- STREET OPENING AND UTILITY PERMITS WILL BE REQUIRED THROUGH THE ENGINEERING DIVISION AND CAN BE OBTAINED BY CONTACTING 781-979-4172. AN ENGINEER FROM THE CITY WILL BE THE APPLICANT'S POINT OF CONTACT THROUGHOUT PERMITTING AND CONSTRUCTION FOR APPROVALS AND INSPECTIONS RELATED TO ROADWAY, SIDEWALK, OR UTILITY WORK. CONSTRUCTION INSPECTION WILL BE REQUIRED FOR ALL WORK PERFORMED ON UTILITIES OR WITHIN THE CITY'S RIGHT-OF-WAY.
- AT THE CONCLUSION OF CONSTRUCTION, AN AS-BUILT DRAWING SHOWING ALL UTILITIES AS INSTALLED (INCLUDING BOTH RIMS AND INVERTS, AS WELL AS ANY ABANDONED UTILITIES REMAINING IN PLACE) AND WATER AND SEWER TIE CARDS SHALL BE SUBMITTED TO THE ENGINEERING DIVISION FOR OUR RECORDS IN BOTH PDF AND CAD FILE TYPES. AS-BUILT PLANS SHALL INCLUDE THE FINAL LOCATIONS, MATERIALS, AND SIZES OF ALL UTILITIES AND OTHER FEATURES, AS DEMAND NECESSARY BY THE CITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE ENGINEER OF RECORD TO OBTAIN THIS INFORMATION.

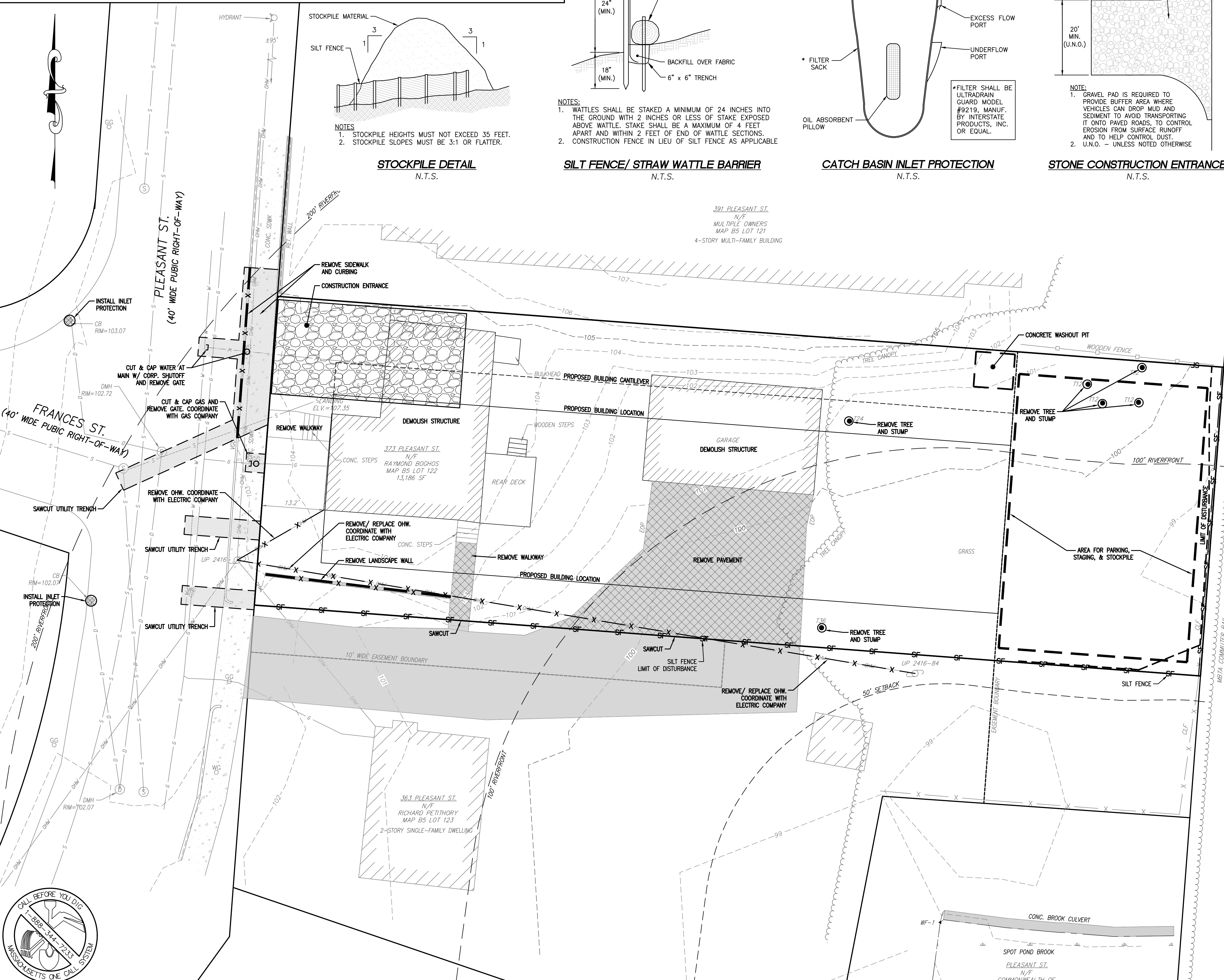


NOTES:

- WATTLES SHALL BE STAKED A MINIMUM OF 24 INCHES INTO THE GROUND WITH 2 INCHES OR LESS OF STAKE EXPOSED ABOVE WATTLE. STAKE SHALL BE A MAXIMUM OF 4 FEET APART AND WITHIN 2 FEET OF END OF WATTLE SECTIONS.
- CONSTRUCTION FENCE IN LIEU OF SILT FENCE AS APPLICABLE.

NOTE:

- GRAVEL PAD IS REQUIRED TO PROVIDE BUFFER AREA WHERE VEHICLES CAN DROP MUD AND SEDIMENT TO AVOID TRANSPORTING IT ONTO PAVED ROADS, TO CONTROL EROSION FROM SURFACE RUNOFF AND TO HELP CONTROL DUST.
- U.N.O. - UNLESS NOTED OTHERWISE

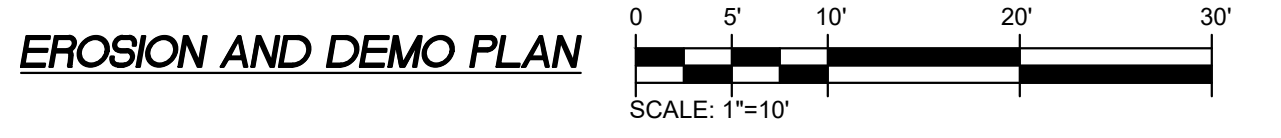


EROSION CONTROL NOTES

- CONTRACTOR TO CALL DIG-SAFE THREE (3) WORKING DAYS (72 HOURS) PRIOR TO ANY EXCAVATION.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH ALL CITY/TOWN RULES AND REGULATIONS AND APPROPRIATE PERMITS SHALL BE OBTAINED TO PERFORM SUCH WORK.
- PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, SIGNS, CONSTRUCTION FENCE, OR OTHER APPROPRIATE MEANS.
- INSTALL SEDIMENTATION AND EROSION CONTROL MEASURES PRIOR TO SITE WORK. MAINTAIN ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATIONS AT THE DIRECTION OF THE GOVERNING AGENCIES.
- PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH ENTRY TO OR EXIT FROM THE SITE. CONTRACTOR SHALL MAINTAIN CONSTRUCTION ENTRANCE UNTIL SITE PAVING IS COMPLETE.
- THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN-OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED BY VEHICLE OFF-SITE ONTO PUBLIC ROADWAY OR INTO STORM DRAINS MUST BE REMOVED.
- IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCES/EXITS, ALL PERIMETER EROSION CONTROL DEVICES AND STORM WATER MANAGEMENT DEVICES (IF APPLICABLE) SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION. PERIMETER EROSION CONTROL SHALL CONSIST OF A TEMPORARY 6FT HIGH SCREENED CONSTRUCTION FENCE, UNLESS OTHERWISE NOTED ON THE PLAN.
- INLET PROTECTIONS SHALL BE INSTALLED ON ALL EXISTING CATCH BASINS AS INDICATED ON THE PLAN, AND IMMEDIATELY AFTER THE INSTALLATION OF ALL NEWLY INSTALLED INLETS.
- EROSION CONTROL DEVICES SHALL BE INSTALLED BEFORE GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- CONSTRUCTION OF THE SITE WILL COMMENCE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED BY VEGETATION AND/OR PAVED SURFACES.
- THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES WHILE IMPROVEMENTS ARE BEING MADE. TRAFFIC CONTROL MEASURES TO BE IN ACCORDANCE WITH LOCAL REGULATIONS AND/OR MASSDOT, MAY BE REQUIRED TO BE IMPLEMENTED.
- CONTRACTOR SHALL PERFORM EROSION CONTROL INSPECTIONS REGULARLY AND IMMEDIATELY FOLLOWING HEAVY RAIN STORMS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. REPAIR OR REPLACE FAILED SYSTEMS AT THE EARLIEST POSSIBLE DATE.
- THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BETWEEN MAY 1 AND SEPTEMBER 30 TO REDUCE DUST AND SEDIMENT TRANSPORT. THESE MEASURES SHALL BE APPLIED AS SOON AS PRACTICABLE, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER LAND DISTURBANCE ACTIVITY OCCURS. DISTURBED AREA REMAINING BARE FOR MORE THAN FOURTEEN (14) DAYS SHALL BE STABILIZED. GROUND COVER SHALL BE INSTALLED ON ANY PORTION OF A SITE THAT IS CLEARED FOR MORE THAN (6) MONTHS.
- SAW-CUTTING SHALL BE CONTROLLED TO MINIMIZE DUST TRANSFER.
- ALL DISTURBED AREAS, WITH NO SPECIFIED GROUND COVER ARE TO BE RESTORED WITH MINIMUM SIX (6) INCHES OF TOPSOIL AND SEEDING.
- PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO ENSURE INTEGRITY. IF DISTURBED, THEY SHALL BE REPLACED AND LOCATED BY A REGISTERED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- ALL EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTION FILLS, AND THE FINAL SHAPING AND TRIMMING TO THE LINES AND GRADES SHOWN ON THE PLANS.
- SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE. EXCESSIVE CLEANING OF THE BINDER COURSE THAT MAY BE REQUIRED, AND IS NOT THE FAULT OF THE PAVING CONTRACTOR, SHALL BE PAID FOR ON A TIME AND MATERIAL BASIS BY PRIOR AGREEMENT WITH THE GENERAL CONTRACTOR.
- ALL TREES, BRUSH, AND ORGANIC TOPSOIL AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED, AND DISPOSED OF AT AN OFF-SITE LOCATION, WITH THE EXCEPTION THAT ENOUGH TOPSOIL SHALL BE RETAINED FOR RE-SPREAD AND GENERAL LANDSCAPING. AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D1557, METHOD C) COMPACTION TEST IN THE PAVED AREAS AND 90% IN THE OTHER AREAS.

LEGEND

—	PROPERTY LINE	EOP	EDGE OF PAVEMENT
- - -	EASEMENT BOUNDARY	U	UTILITY POLE
X	DEMOLISH LINE	WV	WATER VALVE
- - - X	LIMIT OF DISTURBANCE	FH	FIRE HYDRANT
SF	SILT FENCE	CB	CATCH BASIN
- - - SF	SAWCUT LINE	DMH	DRAIN MANHOLE
---	TREE LINE	GS	GAS VALVE
---	50ft RIVERFRONT SETBACK	SMH	SEWER MANHOLE
---	100ft RIVERFRONT SETBACK	TC	TREE CALIBER
---	200ft RIVERFRONT BOUNDARY	CLF	CHAIN LINK FENCE
100	MAJOR CONTOUR	VGC	VERTICAL GRANITE CURB
101	MINOR CONTOUR	WF-X	WETLAND FLAG
X	CHAIN LINK FENCE	IP	INLET PROTECTION
□	WOODEN POST FENCE		
G	GAS UTILITY LINE		
S	SANITARY SEWER UTILITY LINE		
W	WATER UTILITY LINE		
D	STORM DRAIN LINE		
Ohw	OVERHEAD UTILITY WIRE LINE		



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REVISION 1	8/16/21	GGF
NOI SUBMITTAL	10/27/21	GGF

PROJECT LOCATION:
 373 PLEASANT STREET
 MELROSE, MA 02176

PARCEL ID:
 MAP B5, LOT 122

PLAN SET:
PROPOSED 7-UNIT RESIDENTIAL MULTI-FAMILY BUILDING

MAY 17, 2021
 SCALE: 1" = 10'



JOB NO.: 20179-176
SHEET TITLE:
EROSION CONTROL AND DEMO PLAN
SHEET NUMBER:
 C-2




REVISION	DATE	BY
REVISION 1	8/16/21	GGF
NOI SUBMITTAL	10/27/21	GGF

	REQUIRED	PROVIDED	RELIEF REQUIRED
MIN LOT AREA	(1)13,500 SF	13,186 SF	Y
MIN. LOT FRONTAGE & LOT WIDTH	100'	65.6'	Y
MIN LOT DEPTH	90'	201'	N
MIN FRONT YARD	20'	13.4'	Y
MIN SIDE YARD	10'	10'	N
MIN REAR YARD	15'	43.75'	N
MAX HEIGHT	50'	(2)±32'	N
MAX STORIES	4	3	N
MAX LOT COVERAGE	50%	37.8%	N
MAX FLOOR AREA	1	0.997	N
MIN OPEN SPACE	20%	21.2%	N

PROJECT LOCATION:
 373 PLEASANT STREET
 MELROSE, MA 02176
PARCEL ID:
 MAP B5, LOT 122

PLAN SET:
PROPOSED 7-UNIT RESIDENTIAL
MULTI-FAMILY BUILDING
 SCALE: 1" = 10'
 MAY 17, 2021

PROFESSIONAL SEAL:

 GIOVANNI GAETANO FODERA
 No. 54884
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF MASSACHUSETTS

JOB NO.: 20179-176
SHEET TITLE:
 GARBAGE REMOVAL AND SITE PLAN
SHEET NUMBER:
 C-3

GENERAL NOTES

- THE EXISTING PARCEL CONTAINS AN EXISTING DWELLING AND GARAGE WITH A SHARED PAVED DRIVEWAY AND GRASSED AREA LOCATED IN THE REAR OF THE PROPERTY. THE PROPOSED PROJECT IS THE DEVELOPMENT OF 7 RESIDENTIAL TOWNHOUSE UNITS.
- THIS PLAN WAS DESIGNED BASED ON A SURVEY COMPLETED BY FODERA ENGINEERING AND IS REFERENCED.
- LOCATIONS OF ABUTTING STRUCTURES HAVE BEEN FIELD LOCATED.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO SHOVEL SNOW FROM THE SIDEWALKS ABUTTING THE PARCEL AND THAT NO SNOW FROM PRIVATE PROPERTY SHALL BE PLACED WITHIN THE CITY'S RIGHT-OF-WAY.
- THE ON-SITE DRAINAGE EASEMENT SHALL BE PROTECTED THROUGHOUT CONSTRUCTION AND ANY DAMAGE TO THE CULVERT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

PARKING SUMMARY

PARKING CODE B-DWELLING, MULTIFAMILY - REQUIRED 2 SPACES PER DWELLING UNIT = 7 UNITS X 2 = 14 SPACES

	REQUIRED	PROPOSED	RELIEF REQUIRED
PARKING	14	14	N

ZONING SUMMARY

URBAN RESIDENCE C (UR-C)

	REQUIRED	PROVIDED	RELIEF REQUIRED
MIN LOT AREA	(1)13,500 SF	13,186 SF	Y
MIN. LOT FRONTAGE & LOT WIDTH	100'	65.6'	Y
MIN LOT DEPTH	90'	201'	N
MIN FRONT YARD	20'	13.4'	Y
MIN SIDE YARD	10'	10'	N
MIN REAR YARD	15'	43.75'	N
MAX HEIGHT	50'	(2)±32'	N
MAX STORIES	4	3	N
MAX LOT COVERAGE	50%	37.8%	N
MAX FLOOR AREA	1	0.997	N
MIN OPEN SPACE	20%	21.2%	N

(1) 6,000 SF + 1,250 SF X 6 UNITS = 13,500 SF.
 (2) REFER TO ARCHITECTURAL PLANS.

LOT COVERAGE CALCULATION
 BUILDING AREA = 4,981 S.F.
 LOT AREA = 13,186 S.F.
 LOT COVERAGE = 4,981 / 13,186 = 0.378
 LOT COVERAGE = 37.8%

FLOOR AREA RATIO CALCULATION
 GROSS FLOOR AREA = 13,142 S.F.
 LOT AREA = 13,186 S.F.
 FAR CALCULATION = 13,142 / 13,186 = 0.997
 FLOOR AREA RATIO = 0.997

OPEN SPACE CALCULATION
 OPEN SPACE = 2,797 S.F.
 LOT AREA = 13,186 S.F.
 OPEN SPACE % = 2,797 / 13,186 = 0.212
 OPEN SPACE % = 21.2%

VARIANCE LIST

- MINIMUM LOT AREA FOR SEVEN (7) UNIT MULTI-FAMILY.
- MINIMUM LOT FRONTAGE IN UR-C ZONING DISTRICT. (EXISTING NON-COMFORMING)
- MINIMUM FRONT YARD SETBACK.

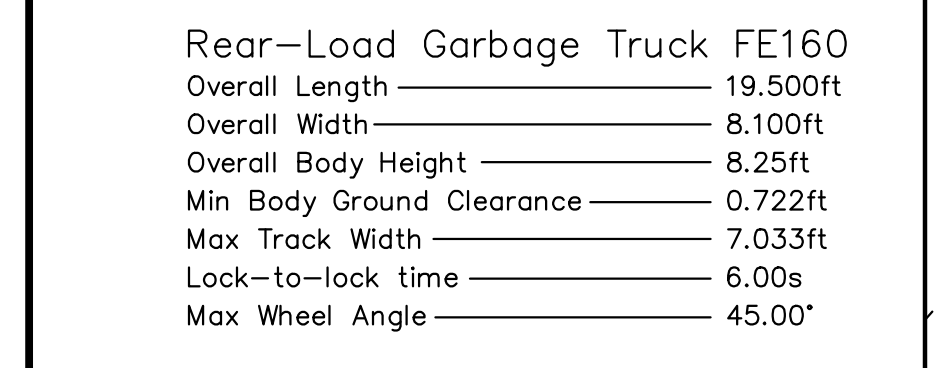
LEGEND

- PROPERTY LINE
- - - EASEMENT BOUNDARY
- BUILDING SETBACK LINE
- - - ZONING BOUNDARY
- TREE LINE
- - - 50ft RIVERFRONT SETBACK
- - - 100ft RIVERFRONT SETBACK
- - - 200ft RIVERFRONT BOUNDARY
- 100 MAJOR CONTOUR
- 101 MINOR CONTOUR
- X CHAIN LINK FENCE
- WOODEN POST FENCE
- g GAS UTILITY LINE
- s SANITARY SEWER UTILITY LINE
- w WATER UTILITY LINE
- d STORM DRAIN LINE
- OHw OVERHEAD UTILITY WIRE LINE
- oCO SEWER CLEANOUT
- EQP EDGE OF PAVEMENT
- U UTILITY POLE
- W VALVE WATER VALVE
- F FIRE HYDRANT
- C CATCH BASIN
- D DRAIN MANHOLE
- G GAS VALVE
- S SEWER MANHOLE
- TXX TREE CALIBER
- CLF CHAIN LINK FENCE
- VGC VERTICAL GRANITE CURB
- WF-X WETLAND FLAG

GARBAGE REMOVAL AND SITE PLAN



GARBAGE TRUCK ENTERING
 SCALE: 1"=10'



GARBAGE TRUCK DIMENSIONS
 SCALE: N.T.S.



GARBAGE TRUCK EXITING
 SCALE: 1"=10'

REVISION	DATE	BY
REVISION 1	8/16/21	GGF
NOI SUBMITTAL	10/27/21	GGF

PROJECT LOCATION:
373 PLEASANT STREET
MELROSE, MA 02176

PARCEL ID:
MAP B5, LOT 122

PLAN SET:
**PROPOSED 7-UNIT RESIDENTIAL
MULTI-FAMILY BUILDING**

MAY 17, 2021
SCALE: 1" = 10'



GRADING AND DRAINAGE NOTES

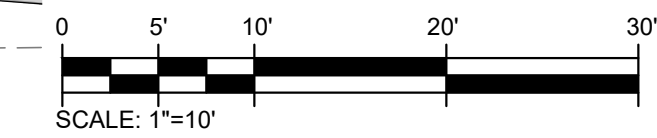
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE TOWN'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- GRADING IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL REGULATIONS, UNLESS OTHERWISE APPROVED BY THE TOWN.
- THE CONTRACTOR SHALL NOTIFY DIG SAFE AND THE TOWN A MINIMUM OF 72 HOURS PRIOR TO THE START OF ANY EXCAVATIONS.
- INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING AND EXCAVATION.
- EXACT LOCATIONS OF SAW-CUTTING MAY BE FIELD DETERMINED BASED ON EXISTING PAVEMENT CONDITIONS.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
- EROSION CONTROL MEASURES SHALL BE STABILIZED IN PLACE BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
- LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
- ALL EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTION FILLS, AND THE FINAL SHAPING AND TRIMMING TO THE LINES AND GRADES SHOWN ON THE PLANS.
- ALL TREES, BRUSH, AND ORGANIC TOPSOIL AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED, AND DISPOSED OF AT AN OFF-SITE LOCATION, WITH THE EXCEPTION THAT ENOUGH TOPSOIL SHALL BE RETAINED FOR RE-SPREAD AND GENERAL LANDSCAPING. AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D1557, METHOD C) COMPACTION TEST IN THE PAVED AREAS AND 90% IN THE OTHER AREAS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO ALL INLETS AND CATCH BASINS. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REGRADING OR REPAIR TO MATCH ORIGINAL EXISTING CONDITIONS.
- SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A AND LOCAL REGULATIONS.
- CONTRACTOR SHALL ADJUST GRADES BY VARYING THE PAVEMENT SECTIONS ACCORDINGLY. EXISTING COMPACTED SUBGRADE TO BE DISTURBED AS LITTLE AS POSSIBLE.
- ALL PROPOSED SPOT ELEVATIONS SHOWN INDICATE FINISHED GRADED ELEVATIONS AT EDGE OF PAVEMENT AND/OR GRADE BREAKS, UNLESS OTHERWISE NOTED.
- MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION, AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
- SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS (EARTHWORK CONTRACTOR SHALL MAKE APPROPRIATE ADJUSTMENTS IN ROUGH GRADING TO ACCOMMODATE TRENCH SPOIL).
- PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.
- UNUSABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUB-GRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.
- REPAIR ANY BASE COURSE AND BINDER COURSE FAILURES PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE.
- SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE. EXCESSIVE CLEANING OF THE BINDER COURSE THAT MAY BE REQUIRED, AND IS NOT THE FAULT OF THE PAVING CONTRACTOR, SHALL BE PAID FOR ON A TIME AND MATERIAL BASIS BY PRIOR AGREEMENT WITH THE GENERAL CONTRACTOR.
- CONFIRM INVERTS OF ALL EXISTING STORM INLETS AND SANITARY SEWER MANHOLES BEFORE COMMENCING CONSTRUCTION.
- ALL STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 TYPE III, UNLESS OTHERWISE SPECIFIED ON PLANS.
- A GEOTEXTILE MATTING (LANDLOCK TRM 450 OR EQUIVALENT) SHALL BE USED FOR EROSION CONTROL ON ALL SLOPES GREATER THAN 3H:1V IF NECESSARY.
- DRAINAGE STRUCTURES AND UNDERGROUND INFILTRATION FACILITIES SHALL BE INSPECTED SEMIANNUALLY TO ENSURE PROPER WORKING ORDER.
- UNUSABLE EXISTING SOILS, SILT, AND DEBRIS SHALL BE ADEQUATELY REMOVED FROM THE AREA OF THE PROPOSED INFILTRATION BASIN. REMOVE ALL ORGANICS.
- IF THE CONTRACTOR IN THE COURSE OF WORK FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
- ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE AND UP TO CITY STANDARDS FOR BOTH ROADWAY AND SIDEWALKS.

SOIL TEST RESULTS

TEST DATE: 7/23/2021
WEATHER: 75°F, SUNNY, DRY, & HUMID
SOIL EVALUATOR: ALEXANDER PARKER
LICENCE #: 1848

TP21-1		TP21-2	
ELV. DPTH.	Soil Data	ELV. DPTH.	Soil Data
102.5 0"	A ₀ (0"-16")	101 0"	A ₀ (0"-22")
102 0"	Sandy Loam	101 16"	Sandy Loam
101 16"	10YR 3/2	100 0"	10YR 3/2
100 0"	B _w (16"-21")	99 22"	B _w (22"-28")
99 22"	Sandy Loam	98 28"	Sandy Loam
98 28"	10YR 5/8	97 28"	10YR 5/8
97 28"	2C (21"-120")	96 28"	2C (28"-120")
96 28"	Sand	95 28"	Sand
95 28"	5Y 5/2	94 28"	5Y 5/2
94 28"	ESHQWT	93 28"	ESHQWT
106"	WEEPING	92 28"	WEEPING
93 28"	NO REFUSAL	91 28"	NO REFUSAL
92.5 28"	ESHQWT ELV.=94.2		ESHQWT ELV.=93.6
	WEEPING ELV.=93.7		WEEPING ELV.=93.1

GRADING AND UTILITY PLAN

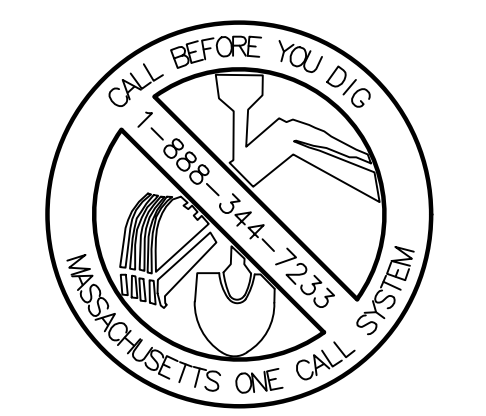
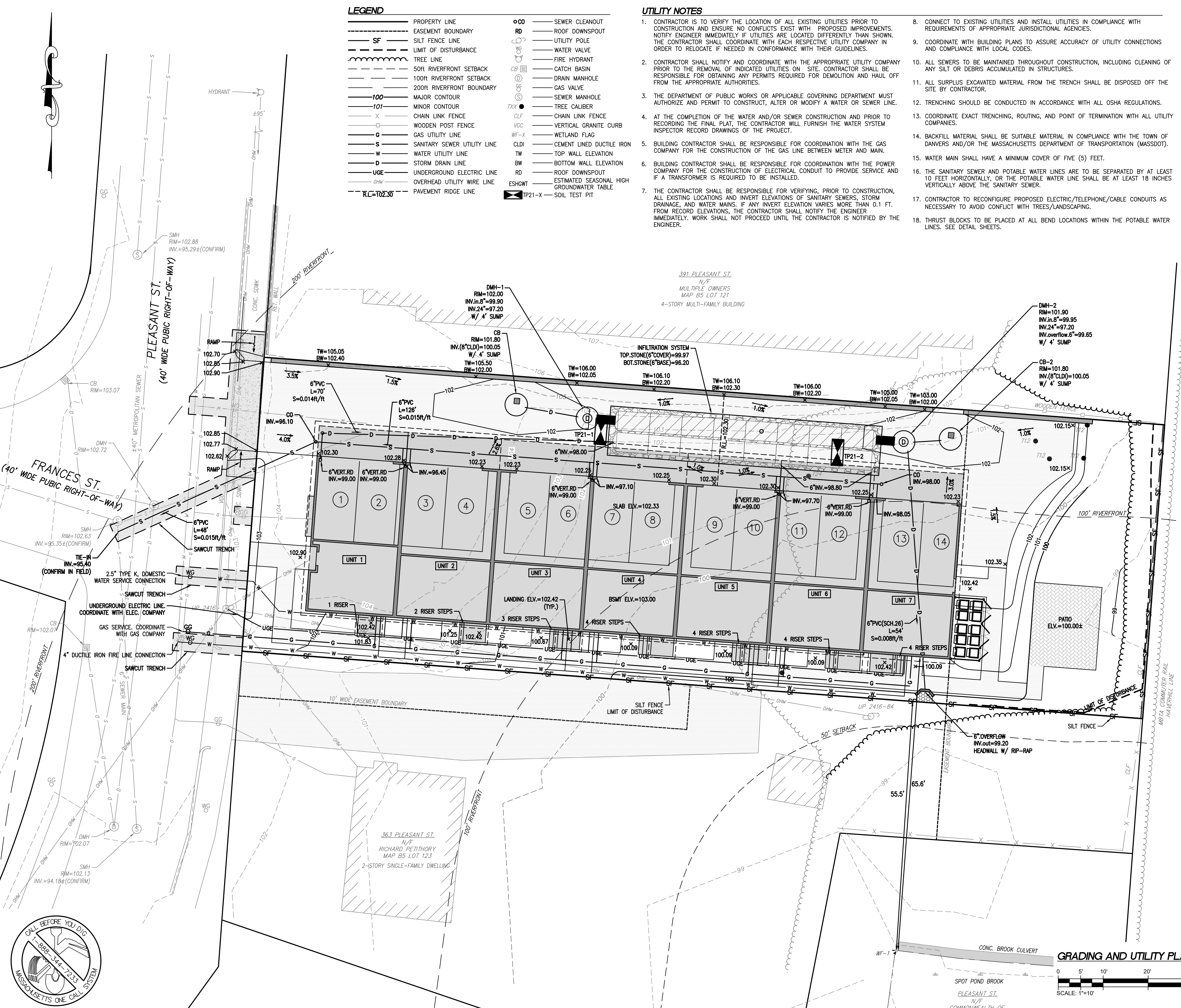


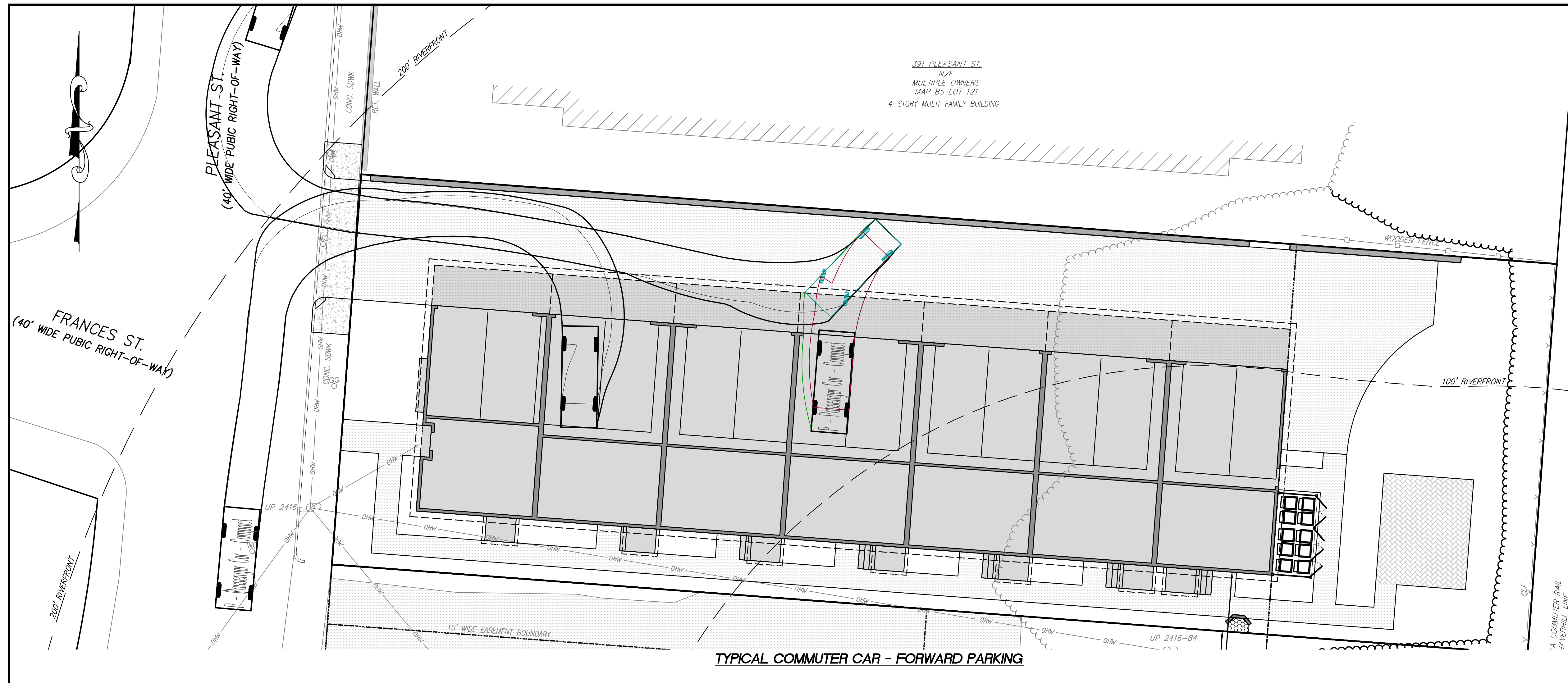
UTILITY NOTES

- CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE NO CONFLICTS EXIST WITH PROPOSED IMPROVEMENTS. NOTIFY ENGINEER IMMEDIATELY IF UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE IF NEEDED IN CONFORMANCE WITH THEIR GUIDELINES.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE REMOVAL OF INDICATED UTILITIES ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED FOR DEMOLITION AND HAUL OFF FROM THE APPROPRIATE AUTHORITIES.
- THE DEPARTMENT OF PUBLIC WORKS OR APPLICABLE GOVERNING DEPARTMENT MUST AUTHORIZE AND PERMIT TO CONSTRUCT, ALTER OR MODIFY A WATER OR SEWER LINE.
- AT THE COMPLETION OF THE WATER AND/OR SEWER CONSTRUCTION AND PRIOR TO RECORDING THE FINAL PLAT, THE CONTRACTOR WILL FURNISH THE WATER SYSTEM INSPECTOR RECORD DRAWINGS OF THE PROJECT.
- BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE GAS COMPANY FOR THE CONSTRUCTION OF THE GAS LINE BETWEEN METER AND MAIN.
- BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY FOR THE CONSTRUCTION OF ELECTRICAL CONDUIT TO PROVIDE SERVICE AND IF A TRANSFORMER IS REQUIRED TO BE INSTALLED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, PRIOR TO CONSTRUCTION, ALL EXISTING LOCATIONS AND INVERT ELEVATIONS OF SANITARY SEWERS, STORM DRAINAGE, AND WATER MAINS. IF ANY INVERT ELEVATION VARIES MORE THAN 0.1 FT. FROM RECORD ELEVATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. WORK SHALL NOT PROCEED UNTIL THE CONTRACTOR IS NOTIFIED BY THE ENGINEER.
- CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
- COORDINATE WITH BUILDING PLANS TO ASSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
- ALL SEWERS TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED IN STRUCTURES.
- ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH SHALL BE DISPOSED OFF THE SITE BY CONTRACTOR.
- TRENCHING SHOULD BE CONDUCTED IN ACCORDANCE WITH ALL OSHA REGULATIONS.
- COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
- BACKFILL MATERIAL SHALL BE SUITABLE MATERIAL IN COMPLIANCE WITH THE TOWN OF DANVERS AND/OR THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MASSDOT).
- WATER MAIN SHALL HAVE A MINIMUM COVER OF FIVE (5) FEET.
- THE SANITARY SEWER AND POTABLE WATER LINES ARE TO BE SEPARATED BY AT LEAST 10 FEET HORIZONTALLY, OR THE POTABLE WATER LINE SHALL BE AT LEAST 18 INCHES VERTICALLY ABOVE THE SANITARY SEWER.
- CONTRACTOR TO RECONFIGURE PROPOSED ELECTRIC/TELEPHONE/CABLE CONDUITS AS NECESSARY TO AVOID CONFLICT WITH TREES/LANDSCAPING.
- THRUST BLOCKS TO BE PLACED AT ALL BEND LOCATIONS WITHIN THE POTABLE WATER LINES. SEE DETAIL SHEETS.

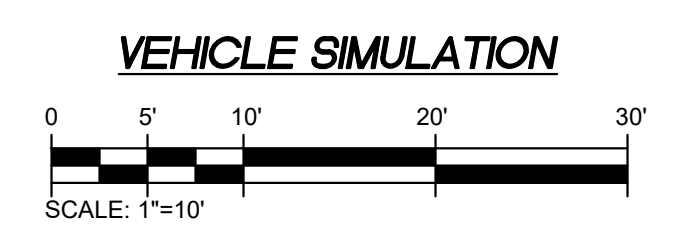
LEGEND

- | | | | |
|-------|-----------------------------|--------|---|
| — | PROPERTY LINE | ○ CO | SEWER CLEANOUT |
| - - - | EASEMENT BOUNDARY | RD | ROOF DOWNSPOUT |
| --- | SILT FENCE LINE | U | UTILITY POLE |
| --- | LIMIT OF DISTURBANCE | W | WATER VALVE |
| --- | TREE LINE | Y | FIRE HYDRANT |
| --- | 50H RIVERFRONT SETBACK | CB | CATCH BASIN |
| --- | 100H RIVERFRONT SETBACK | DMH | DRAIN MANHOLE |
| --- | 200H RIVERFRONT SETBACK | GW | GAS VALVE |
| --- | 100 | SMH | SEWER MANHOLE |
| --- | MAJOR CONTOUR | TRX | TREE CALIBER |
| --- | MINOR CONTOUR | CLF | CHAIN LINK FENCE |
| X | CHAIN LINK FENCE | VOC | VERTICAL GRANITE CURB |
| □ | WOODEN POST FENCE | WF-X | WETLAND FLAG |
| G | GAS UTILITY LINE | CLDI | CEMENT LINED DUCTILE IRON |
| S | SANITARY SEWER UTILITY LINE | TW | TOP WALL ELEVATION |
| W | WATER UTILITY LINE | BW | BOTTOM WALL ELEVATION |
| D | STORM DRAIN LINE | RD | ROOF DOWNSPOUT |
| UGE | UNDERGROUND ELECTRIC LINE | ESHQWT | ESTIMATED SEASONAL HIGH GROUNDWATER TABLE |
| OHW | OVERHEAD UTILITY WIRE LINE | IP21-X | SOIL TEST PIT |
| --- | PAVEMENT RIDGE LINE | | |





P - Passenger Car	17.000ft
Overall Length	6.000ft
Overall Width	4.300ft
Overall Body Height	1.115ft
Min Body Ground Clearance	6.000ft
Track Width	4.00s
Lock-to-lock time	31.60°
Max Steering Angle (Virtual)	



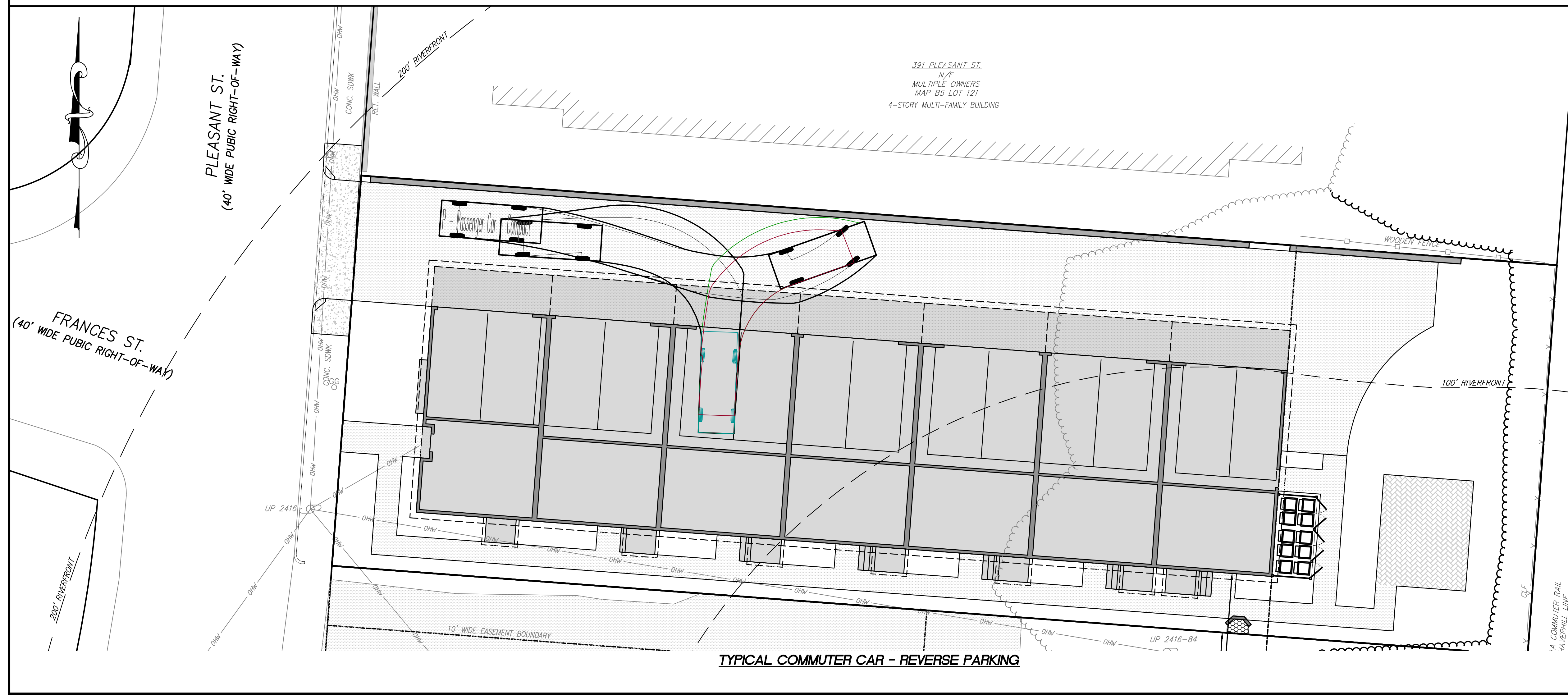
PREPARED BY:
FODERA ENGINEERING
 (617)877-3293
 gfodera@foderaengineering.com
 28 Harbor St., Suite 204
 Danvers, MA 01923

PREPARED FOR:
 BOGHOS PROPERTIES
 655 E 2ND ST, 204
 BOSTON, MA 02127
 781-820-5129

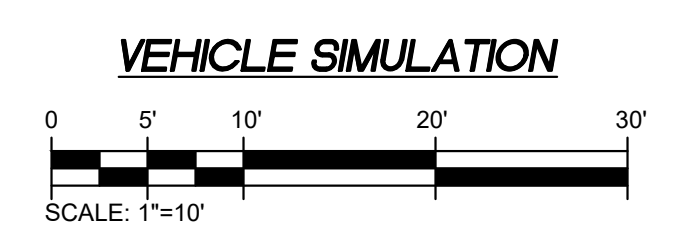
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REVISION	DATE	BY
REVISION 1	8/16/21	GGF
NOI SUBMITTAL	10/27/21	GGF

PROJECT LOCATION:
 373 PLEASANT STREET
 MELROSE, MA 02176
PARCEL ID:
 MAP B5, LOT 122



P - Passenger Car	17.000ft
Overall Length	6.000ft
Overall Width	4.300ft
Overall Body Height	1.115ft
Min Body Ground Clearance	6.000ft
Track Width	4.00s
Lock-to-lock time	31.60°
Max Steering Angle (Virtual)	

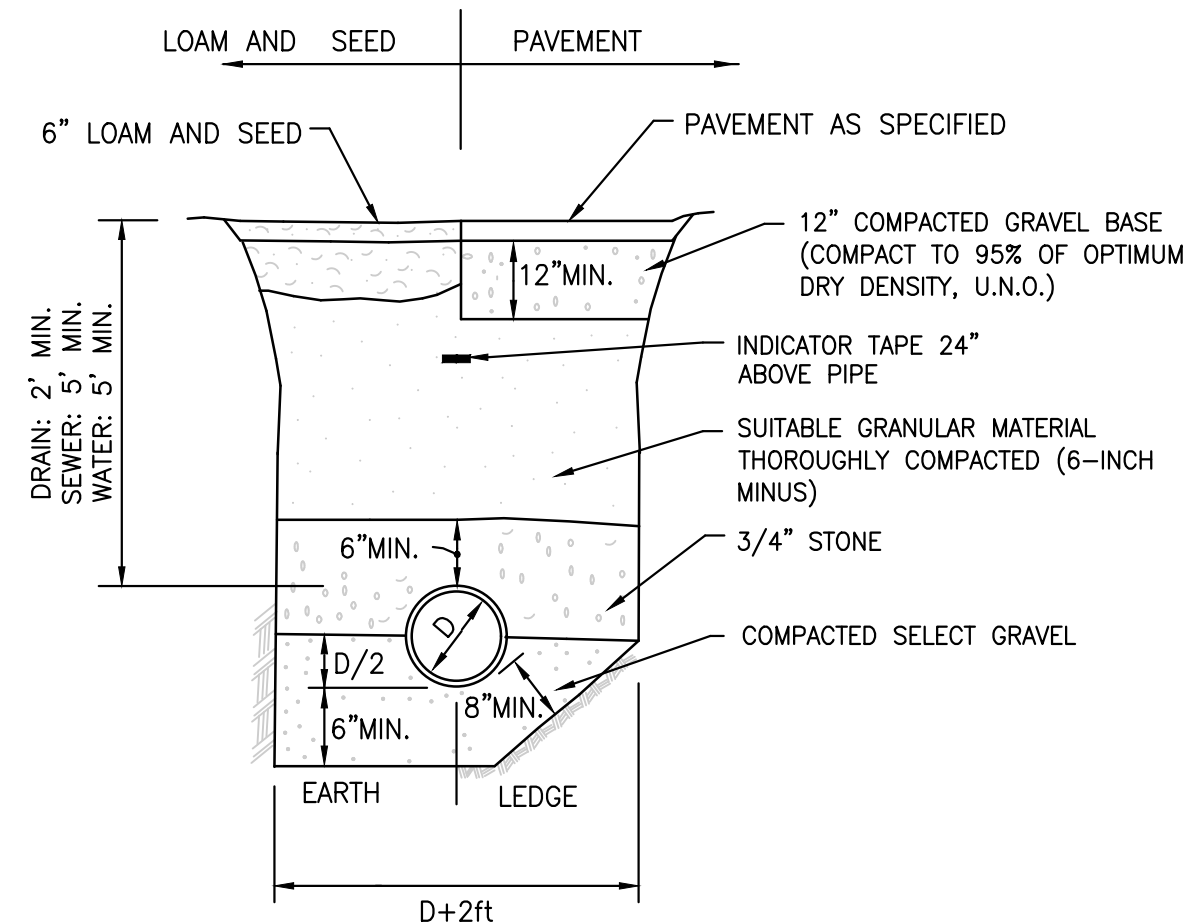


PLAN SET:
PROPOSED 7-UNIT RESIDENTIAL MULTI-FAMILY BUILDING
 SCALE: 1" = 10'
 MAY 17, 2021

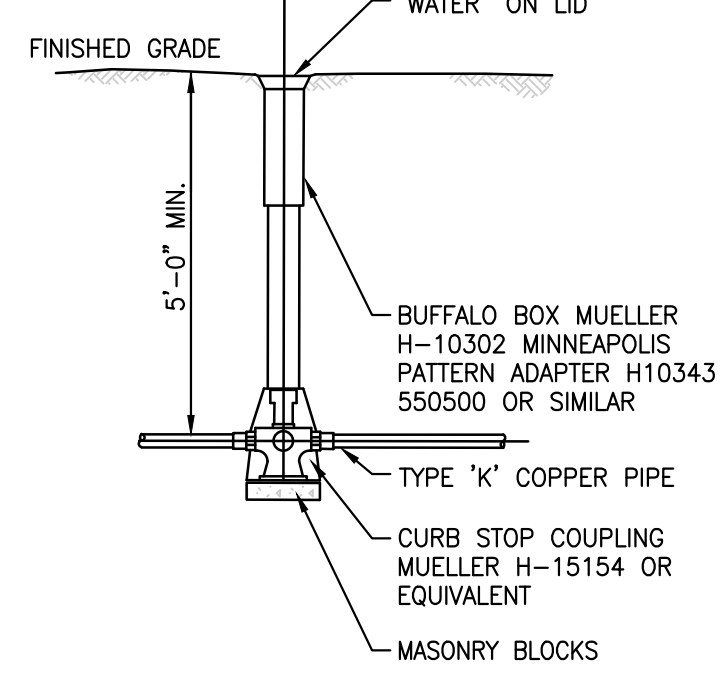
PROFESSIONAL SEAL:

 GIOVANNI GAETANO FODERA
 No. 54884
 REGISTERED PROFESSIONAL ENGINEER

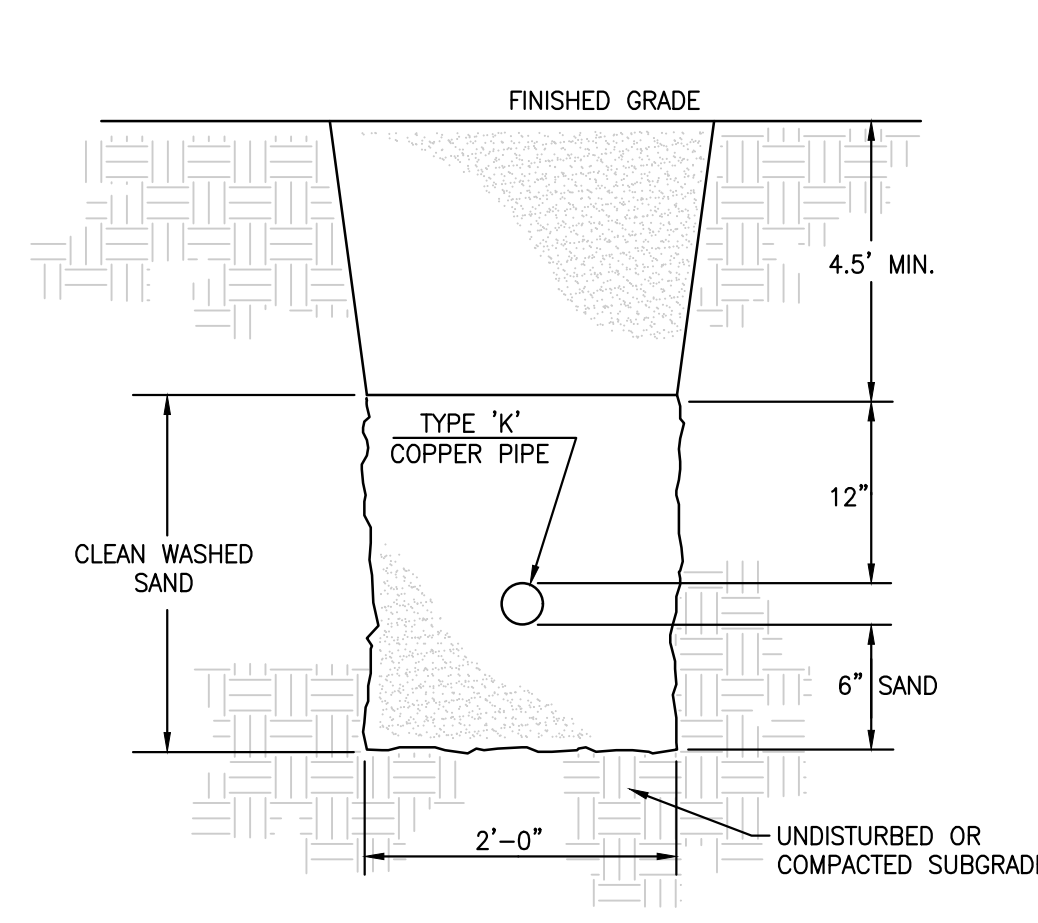
JOB NO.: 20179-176
SHEET TITLE:
VEHICLE SIMULATION
SHEET NUMBER:
 C-5



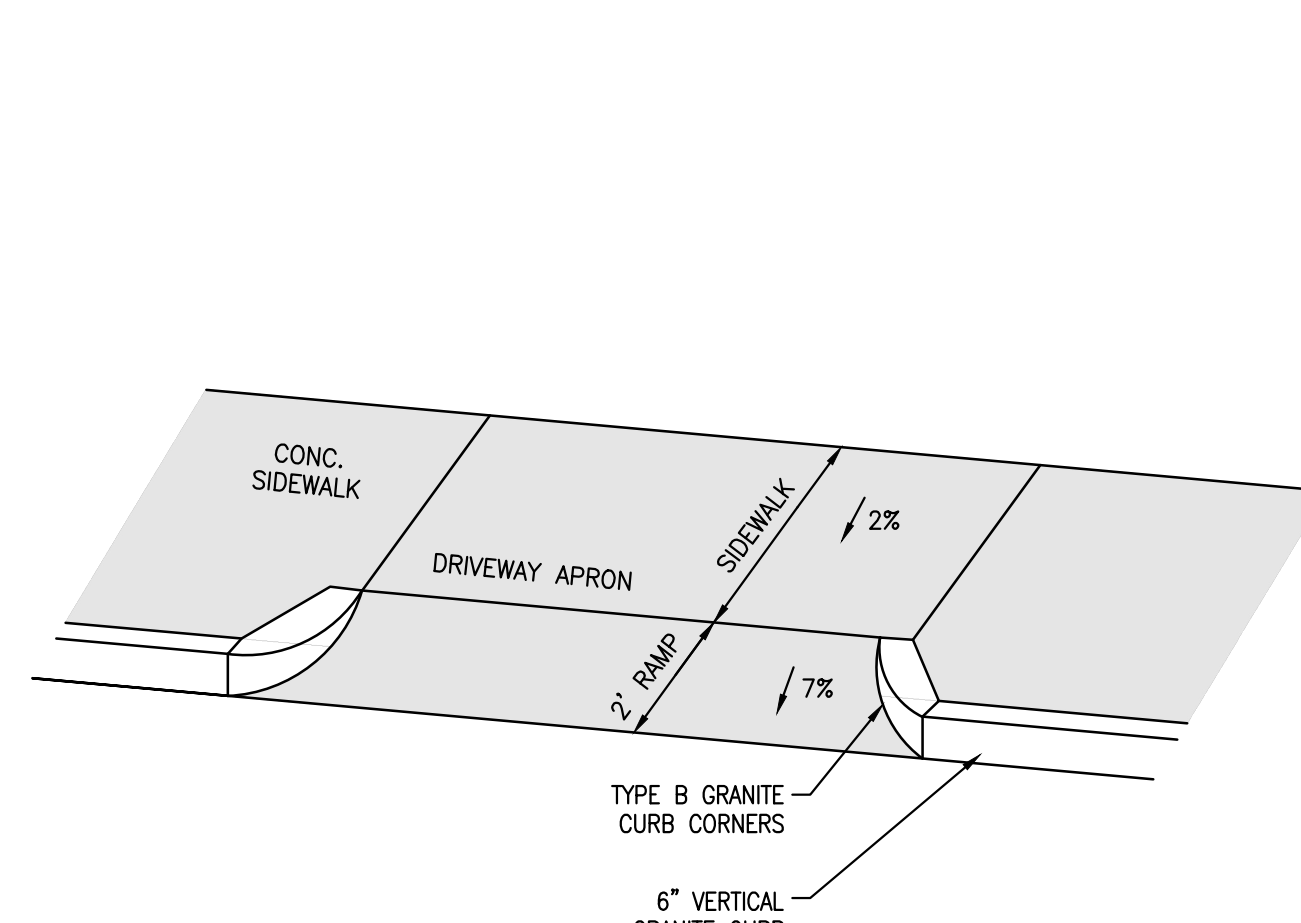
DRAIN/ SEWER/ WATER TRENCH AND BACKFILL DETAIL
N.T.S.



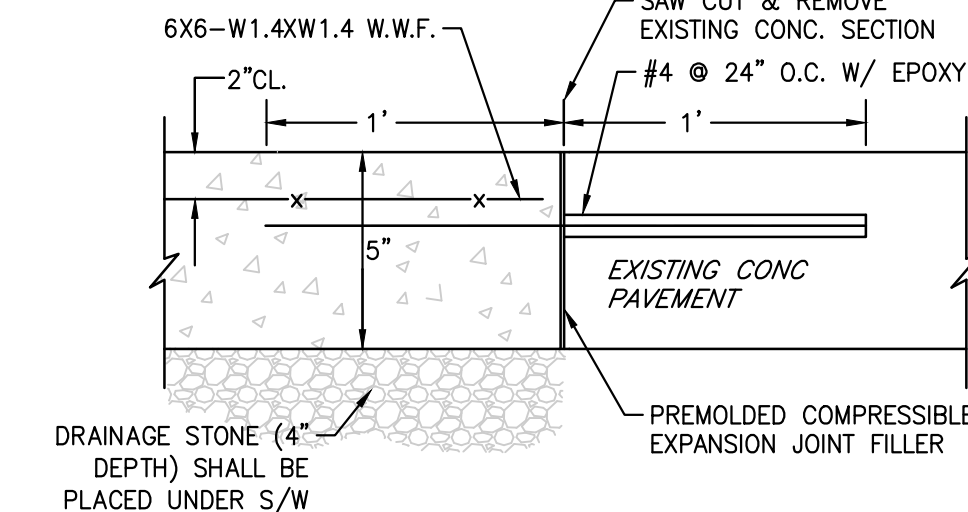
WATER SERVICE VALVE
N.T.S.



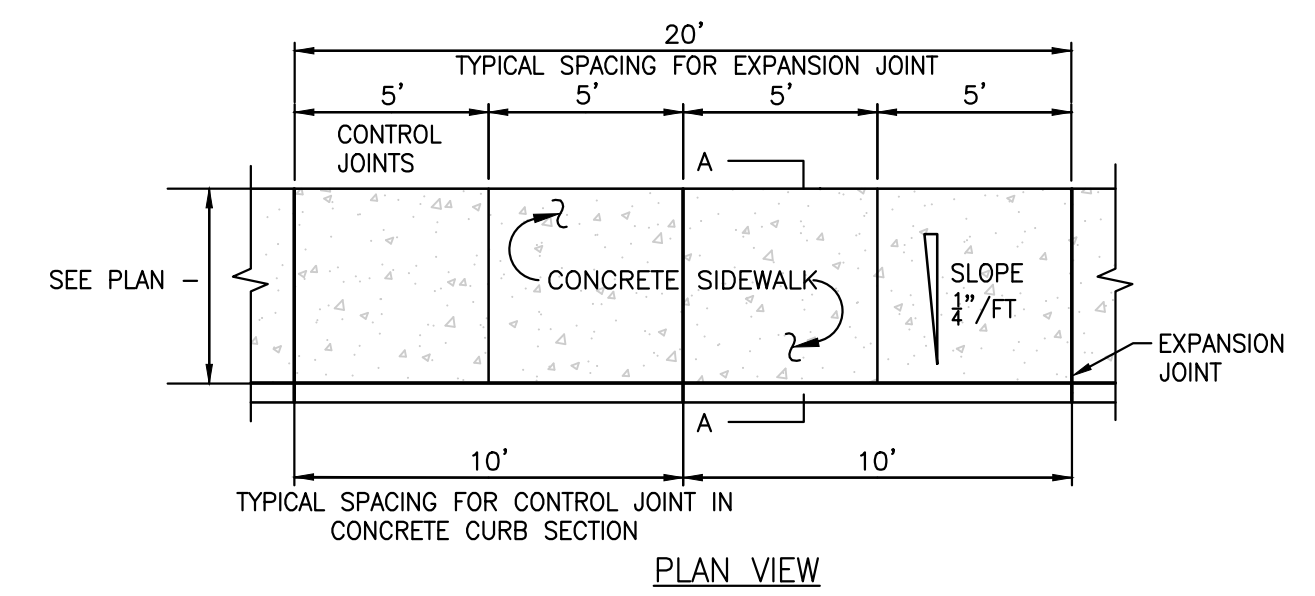
COPPER WATER SERVICE PIPE TRENCH
N.T.S.



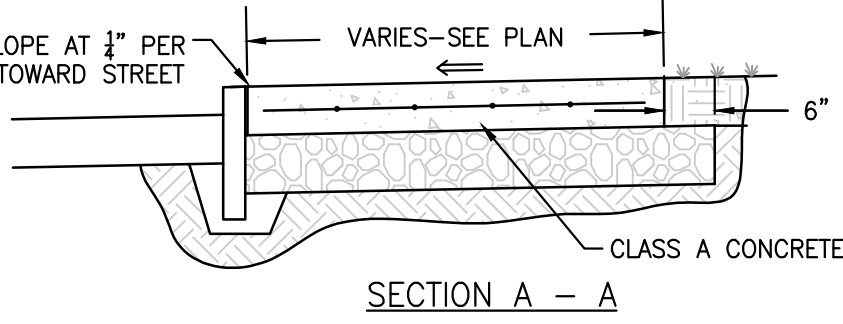
TYPICAL DRIVEWAY APRON
N.T.S.



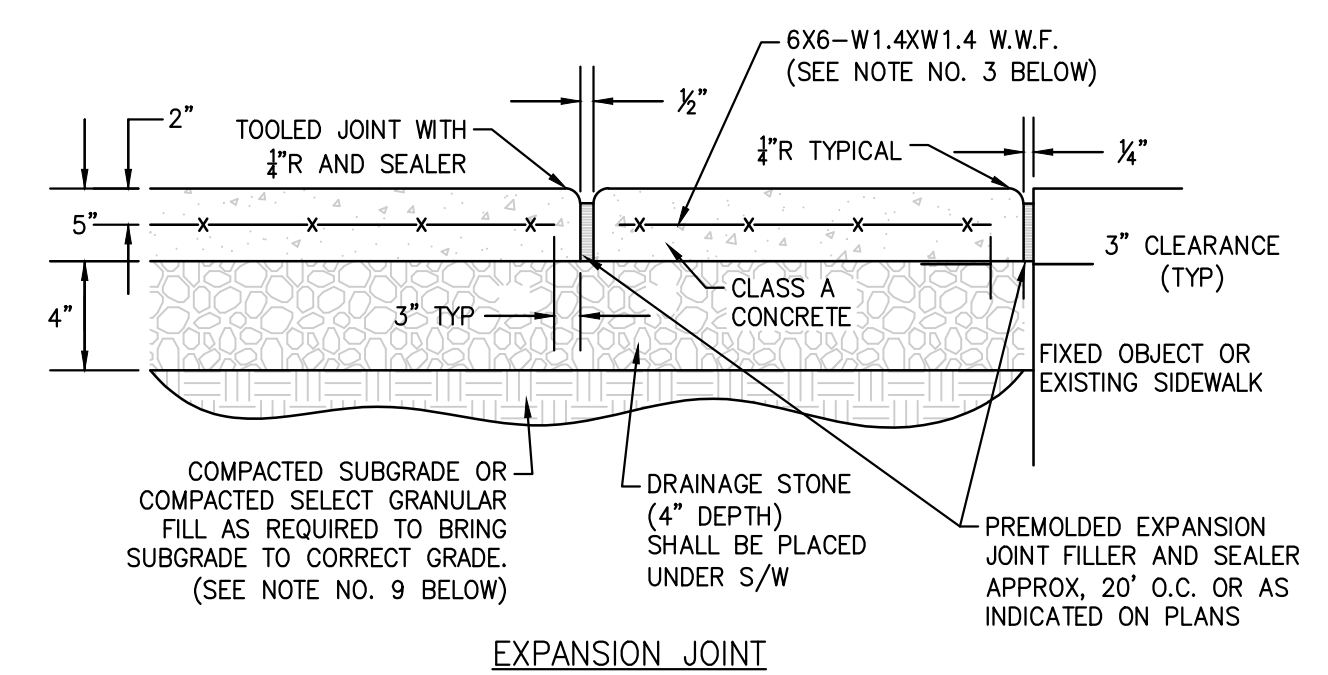
CONCRETE REMOVAL AND REPLACEMENT
N.T.S.



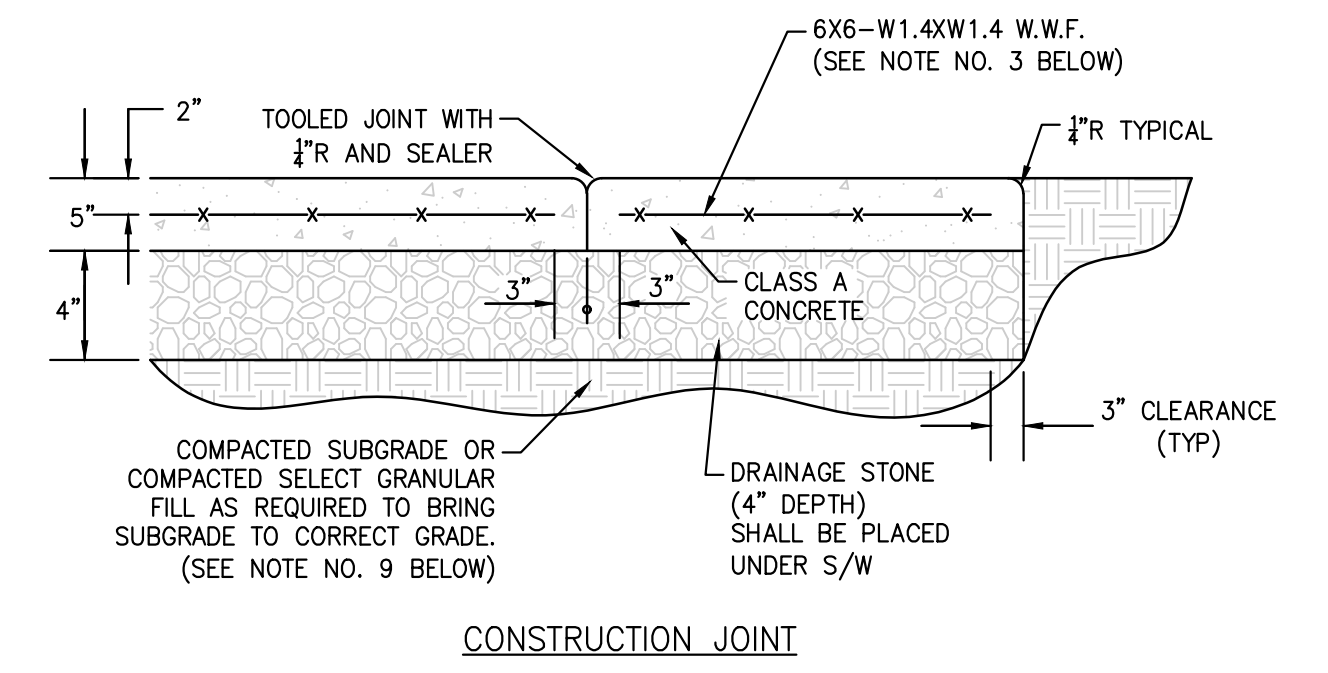
TYPICAL SPACING FOR CONTROL JOINT IN CONCRETE CURB SECTION
PLAN VIEW



SECTION A - A

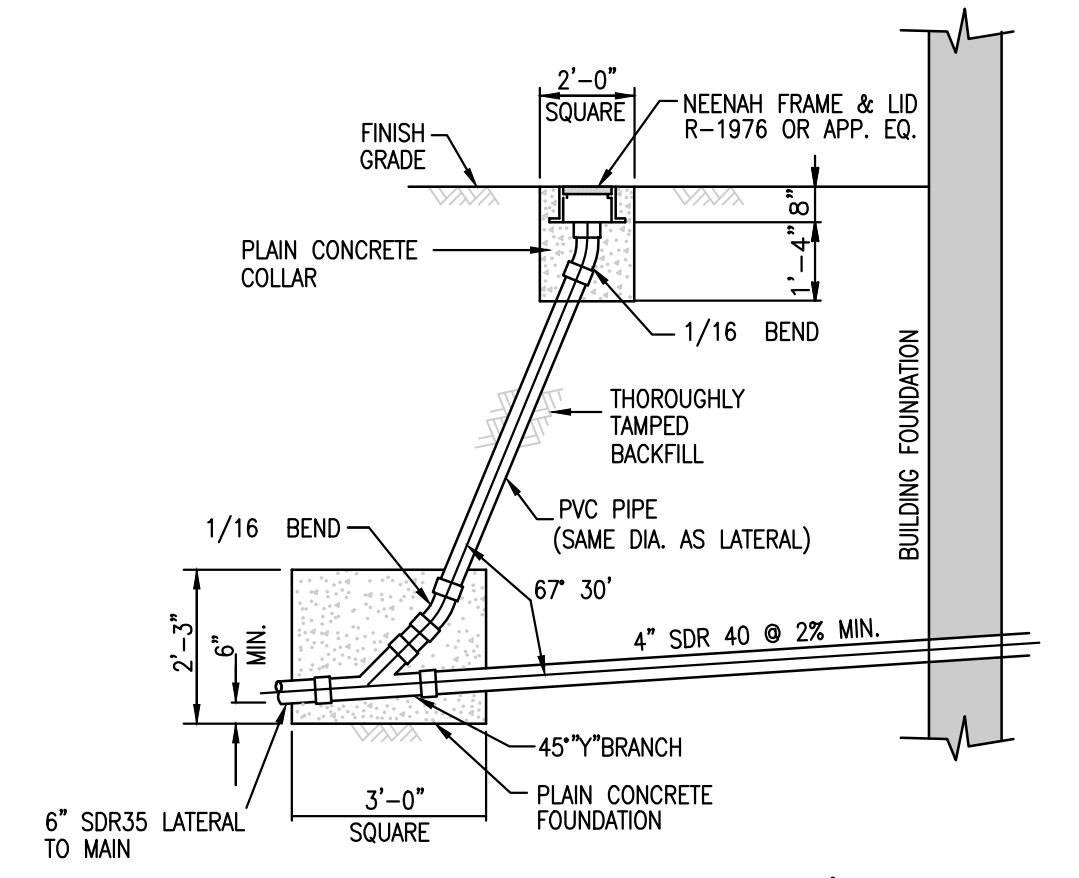


EXPANSION JOINT

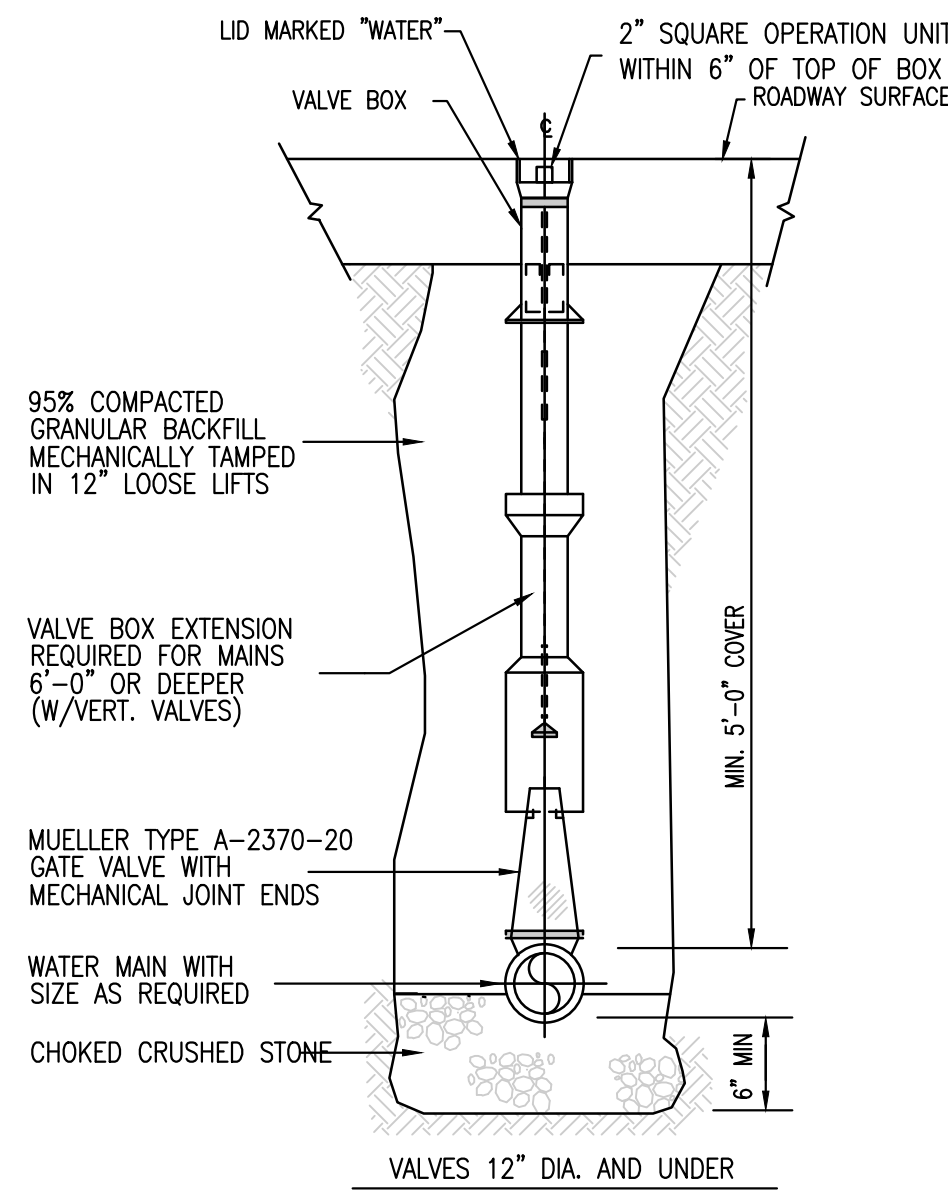


CONSTRUCTION JOINT

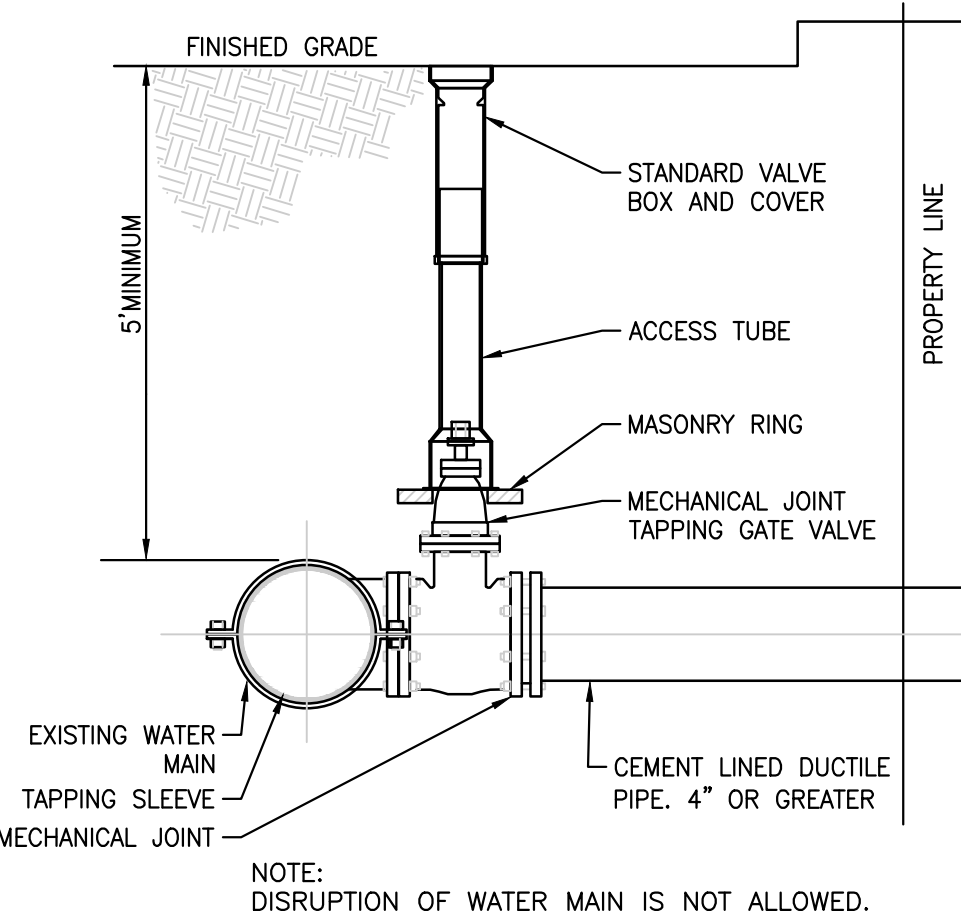
- NOTES:
- MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION.
 - ALL CONCRETE SHALL BE 3,000 PSI CLASS A CONCRETE. CONCRETE MATERIALS, PLACEMENT, AND CONSTRUCTION SHALL CONFORM STATE DOT STANDARD SPECIFICATIONS.
 - REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH THE ABOVE REFERENCED STATE DOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
 - ALL EXPOSED SURFACES SHALL HAVE A BROOM TEXTURED FINISH.
 - EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20'-0" ON CENTER, OR AS INDICATED ON PLANS.
 - JOINTS SHALL NOT BE SAW CUT.
 - EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SUREBOND"/"SAFE BOND" SB-7000 INTENSIFIER BRIGHT PROTECTOR AND SIDEWALK SEALER, OR EQUAL. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - SUBBASE MATERIAL SHALL CONFORM WITH STATE DOT STANDARD.
 - WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH STATE DOT STANDARD SPECIFICATIONS.
 - CURB SHALL BE REVEALED BY 6 INCHES ABOVE GRADE UNLESS OTHERWISE NOTED ON THE PLAN.



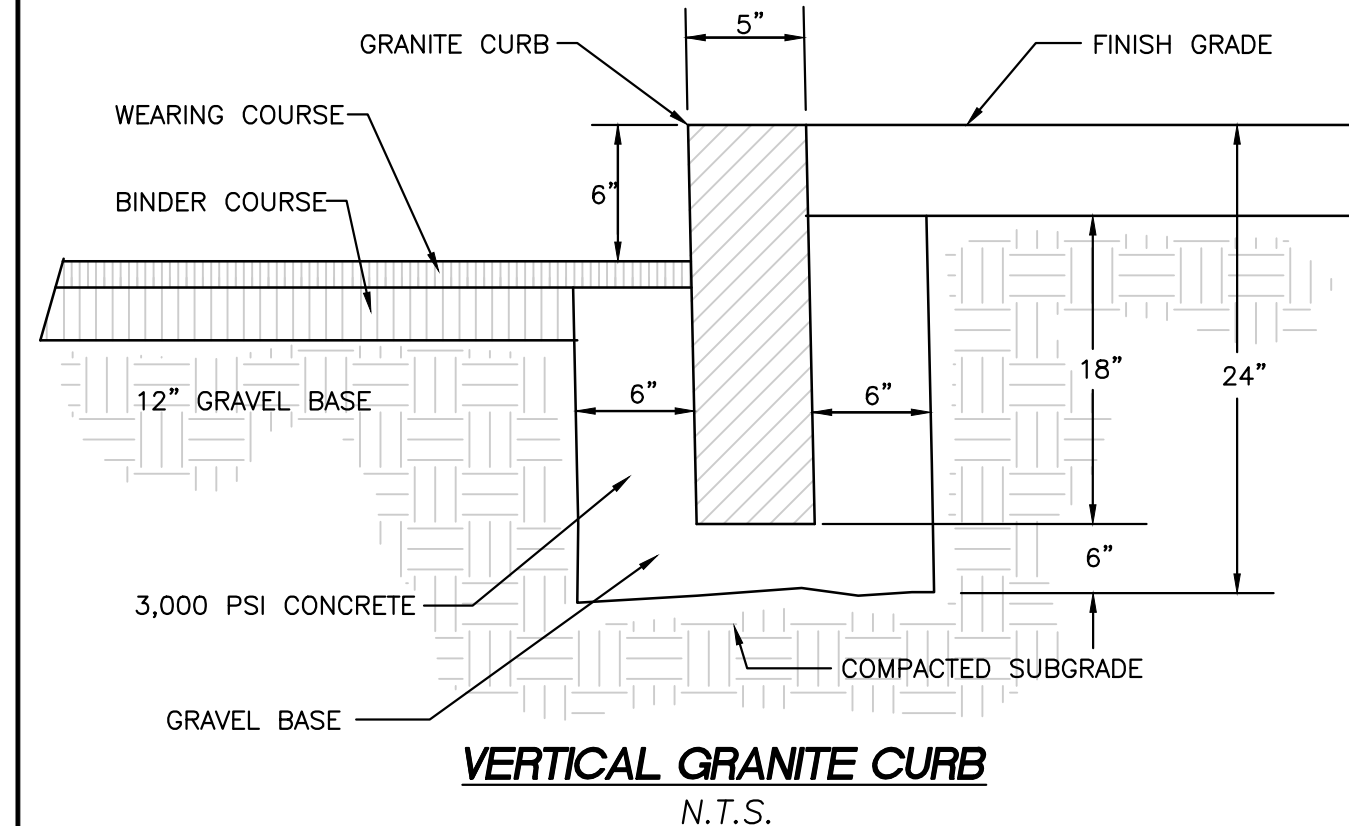
SEWER SERVICE AT BUILDING W/ CLEANOUT
N.T.S.



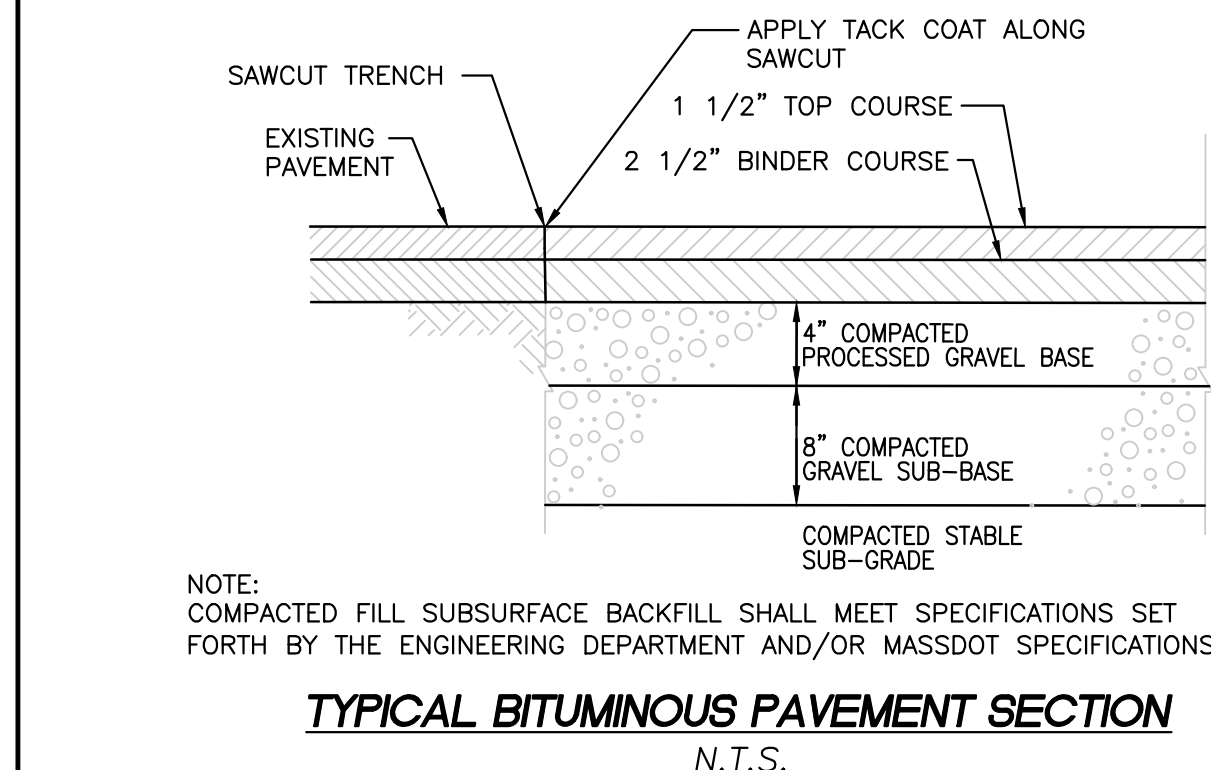
UNDERGROUND GATE VALVE
N.T.S.



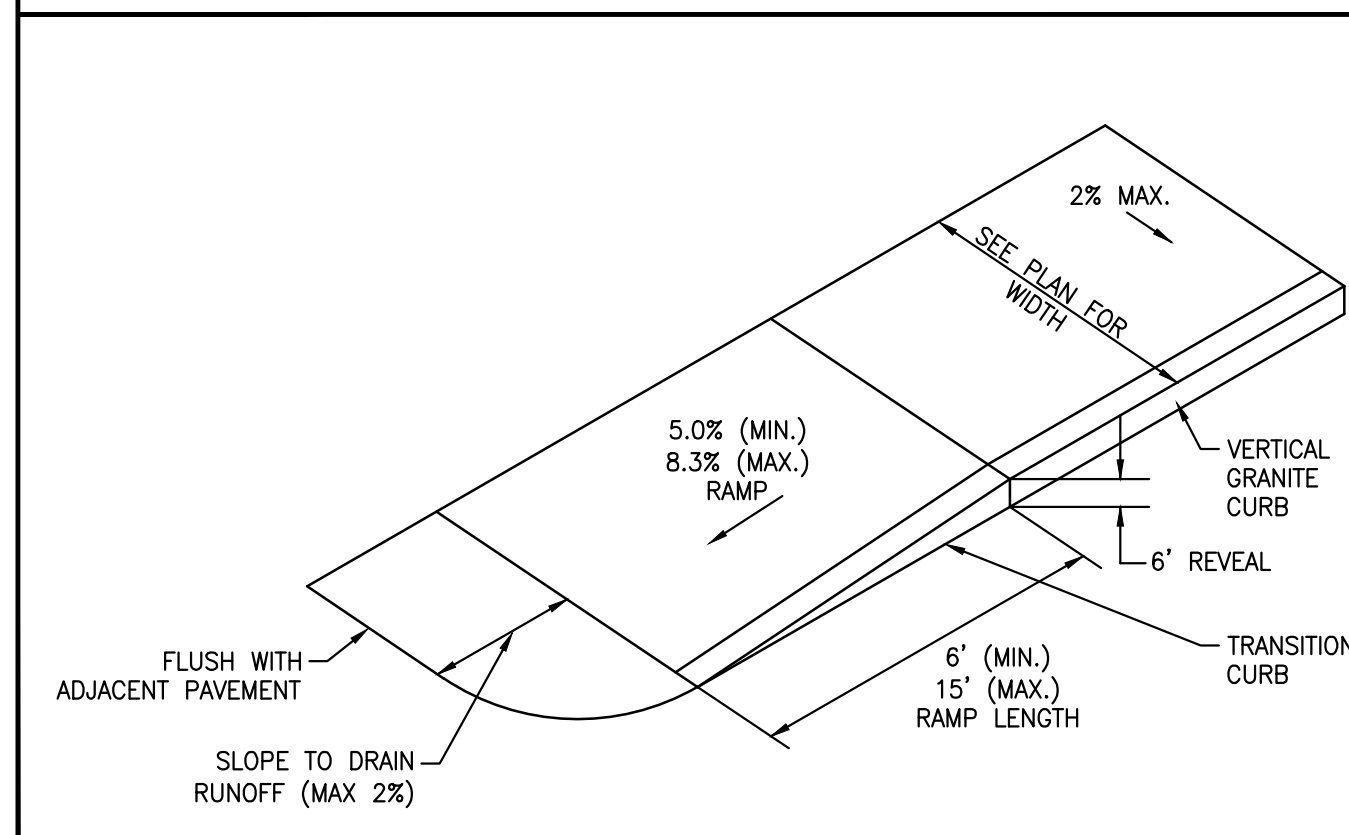
WATER CONNECTION WITH TAPPING SLEEVE AND VALVE
N.T.S.



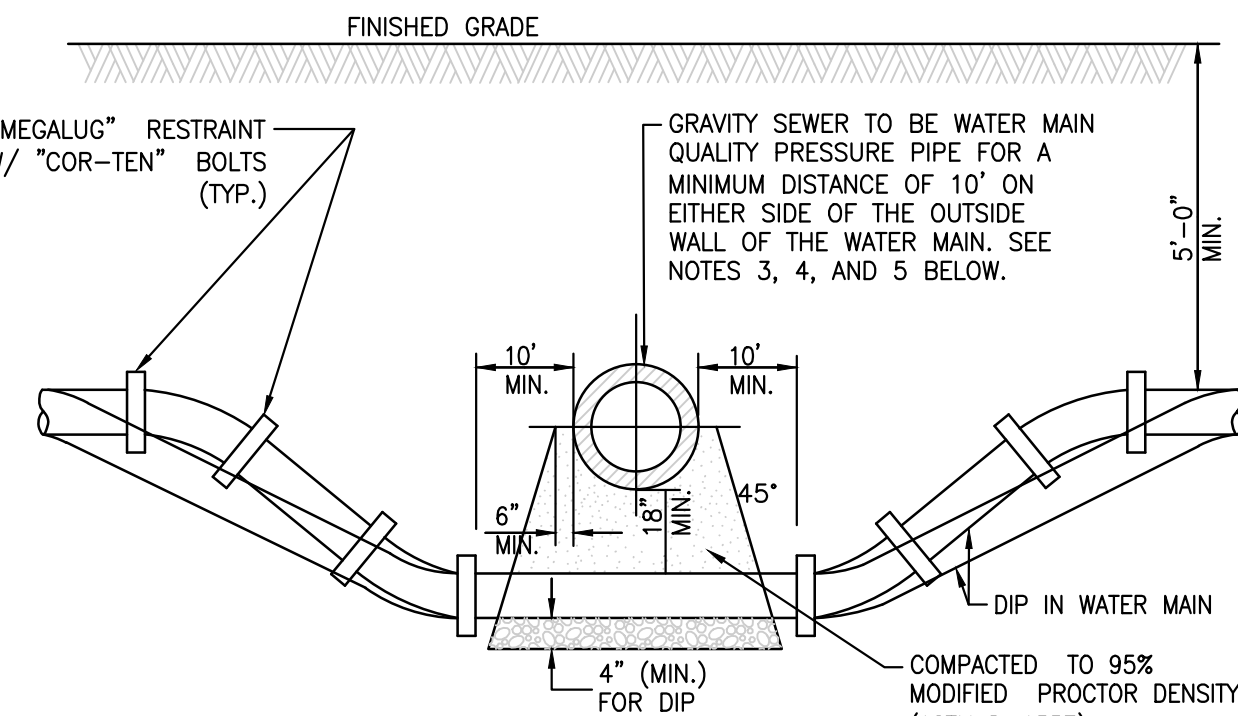
VERTICAL GRANITE CURB
N.T.S.



TYPICAL BITUMINOUS PAVEMENT SECTION
N.T.S.

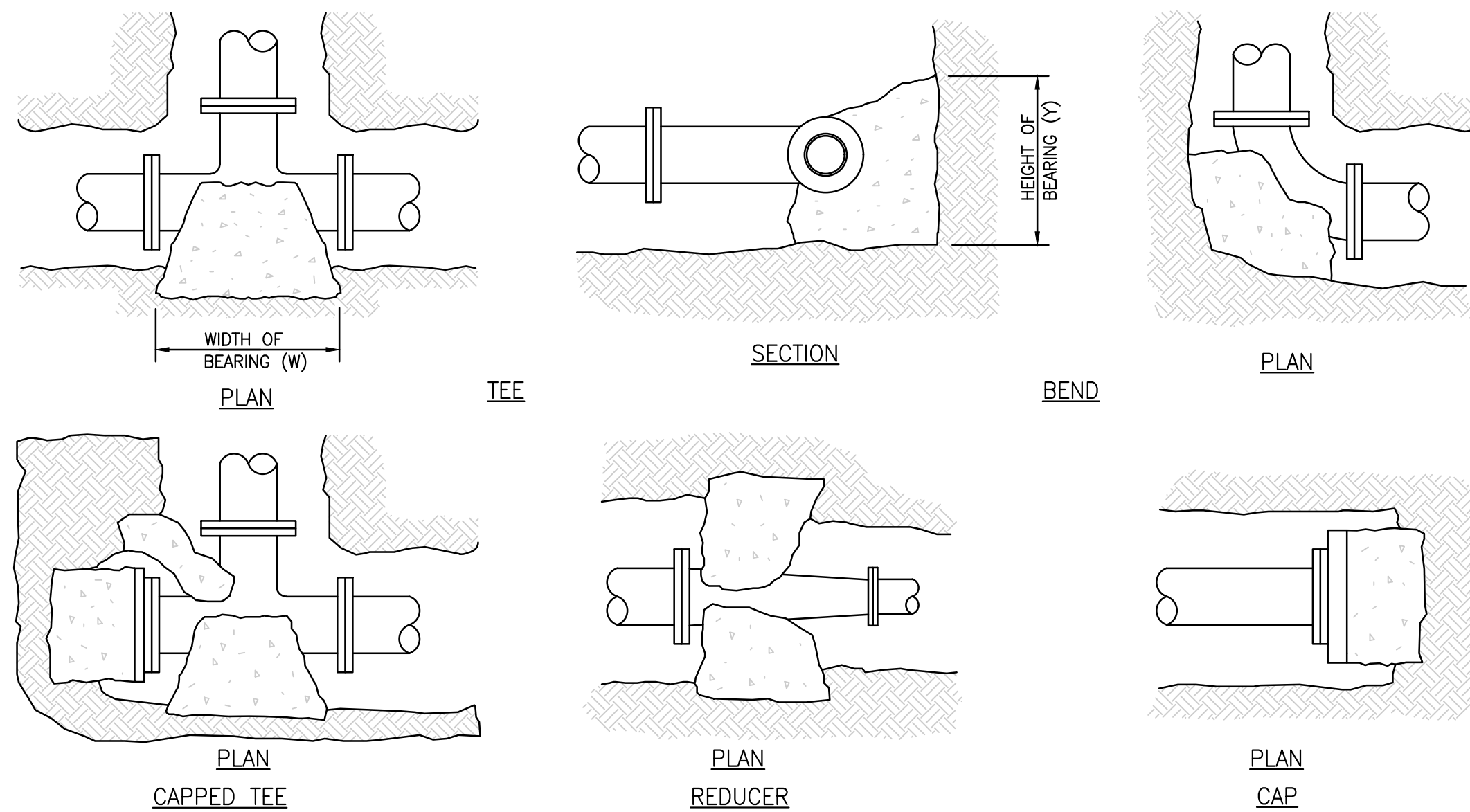


ADA ACCESSIBLE SIDEWALK RAMP
N.T.S.



WATER MAIN CROSSING
N.T.S.

- NOTES:
- HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATERMAINS AND SEWERS SHALL COMPLY WITH APPLICABLE SECTIONS OF LOCAL OR STATE REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
 - CONTRACTOR MAY BEND WATER MAIN PIPE UNIFORMLY UNDER SEWERS WITHOUT USING FITTINGS, PROVIDED THAT JOINT DEFLECTION DOES NOT EXCEED 5 DEGREES PER JOINT FOR PIPE UNDER 14" IN DIAMETER AND 3 DEGREES PER JOINT FOR PIPE 14" AND OVER IN DIAMETER. IF FITTINGS ARE USED, CONTINUOUS STRAPPING WITH RODS, STRAPS, NUTS AND BOLTS BELOW NORMAL WATERMAIN DEPTH ARE REQUIRED, OR RETAINER GLANDS MAY BE USED IN LIEU OF STRAPPING. RETAINER GLANDS TO BE CLOW NO. F-1058 OR APPROVED EQUAL.
 - ALL SANITARY SEWER (INCLUDING SERVICE) CROSSINGS WHERE THE WATER MAINS OR WATER SERVICES ARE LESS THAN 18" VERTICALLY ABOVE THE SEWER SHALL BE POLYVINYL CHLORIDE PRESSURE PIPE (SDR 26-160 PSI) AND SHALL CONFORM WITH THE LATEST REVISION OF ASTM D-2241. JOINTS SHALL CONFORM TO ASTM D-3139 AND ELASTOMERIC GASKETS SHALL CONFORM TO ASTM F-477. THE SAME PIPE AND JOINT MATERIALS SHALL BE USED WHENEVER WATER MAIN CROSSES BELOW THE SEWER.
 - ALL STORM SEWER (INCLUDING SERVICE) CROSSINGS WHERE THE WATER MAINS ARE LESS THAN 18" VERTICALLY ABOVE THE SEWER SHALL BE REINFORCED CONCRETE PIPE, ASTM C-361, CLASS D-25, WITH BELL AND SPIGOT JOINTS AND RUBBER GASKETS, OR PVC SDR 26 AS SPECIFIED IN NOTE 3 ABOVE. THE SAME PIPE AND JOINT MATERIAL SHALL BE USED WHENEVER WATER MAIN CROSSES BELOW THE SEWER.
 - FOR NEW SEWER INSTALLATIONS CROSSING OVER WATER MAINS, THE ENTIRE RUN OF NEW SEWER SHALL BE WATER MAIN QUALITY PIPE, EXTENDING FROM STRUCTURE TO STRUCTURE ON EACH SIDE OF THE CROSSING.



THRUST BLOCKS FOR WATER SYSTEM
N.T.S.

PIPE SIZE	WATER PIPE	
	TEE, DEAD END, 90° BEND	45° & 22-8° BENDS
4" OR LESS	3 SQ. FEET	3 SQ. FEET
6"	4 SQ. FEET	3 SQ. FEET
8"	6 SQ. FEET	3 SQ. FEET
10"	9 SQ. FEET	5 SQ. FEET
12"	13 SQ. FEET	7 SQ. FEET
16"	23 SQ. FEET	12 SQ. FEET

- NOTES:
- THRUST BLOCKS TO EXTEND TO UNDISTURBED GROUND.
 - ALL CONCRETE SHALL BE CLASS B.
 - TABLE IS BASED ON 3000 LB./SQ. FT. SOIL. IF SOIL CONDITIONS ARE FOUND TO INDICATE SOIL BEARING LESS, THE AREAS SHALL BE INCREASED ACCORDINGLY.
 - AREAS FOR PIPES GREATER THAN 16" SHALL BE CALCULATED FOR EACH PROJECT.
 - FOR ALL NON BEARING VERTICAL SURFACES.

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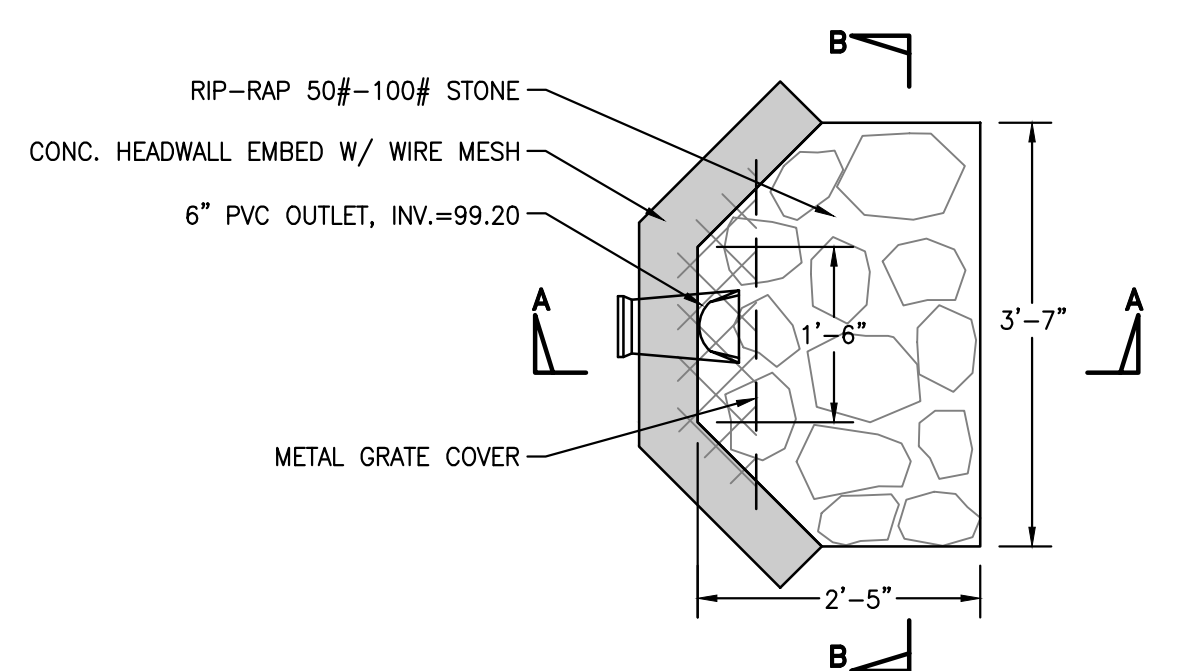
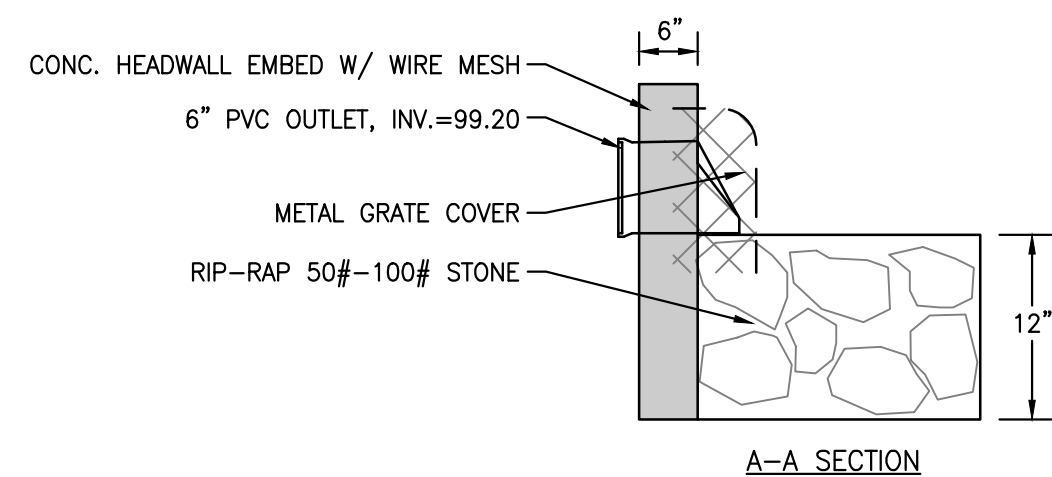
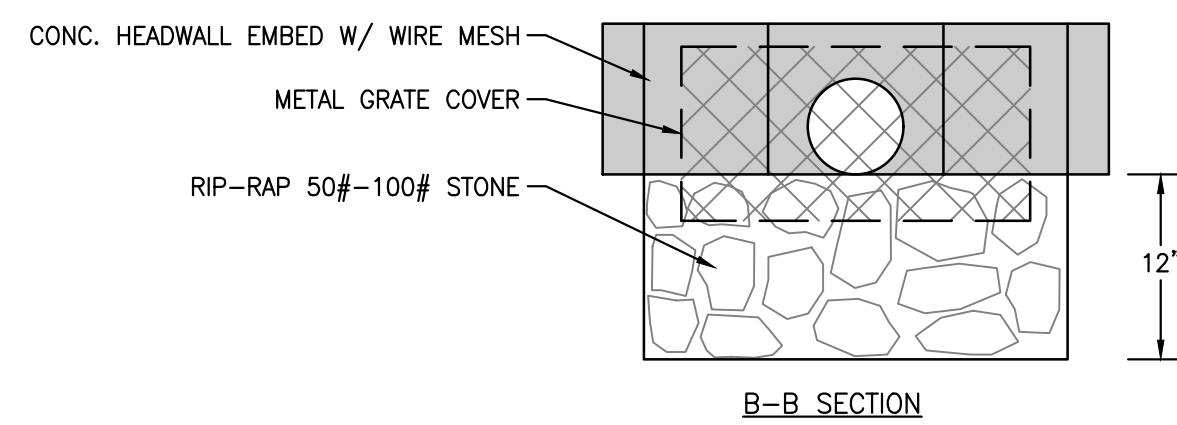
REVISION	DATE	BY
REVISION 1	8/16/21	GGF
NOI SUBMITTAL	10/27/21	GGF

PROJECT LOCATION:
373 PLEASANT STREET
MELROSE, MA 02176
PARCEL ID:
MAP B5, LOT 122

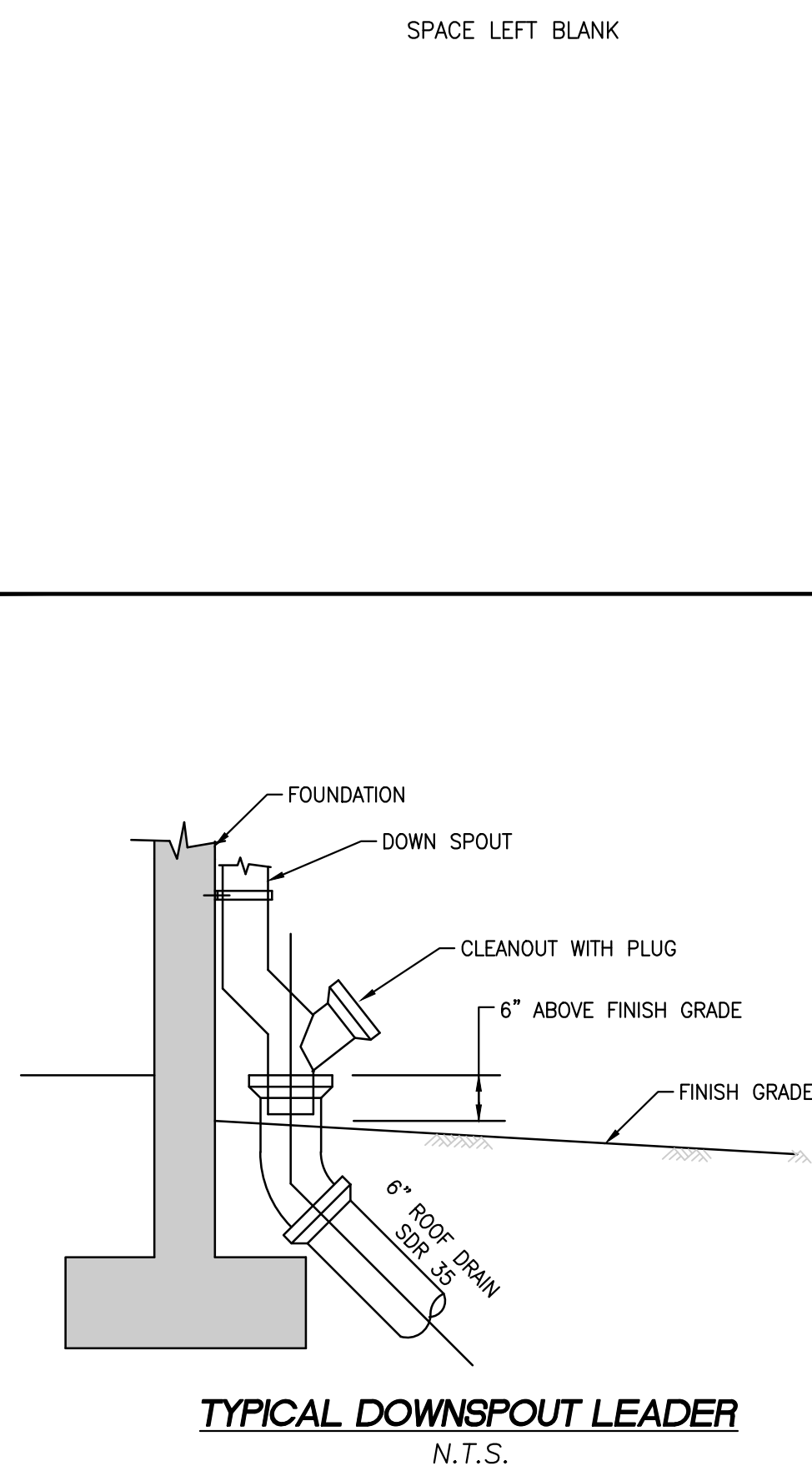
PLAN SET:
PROPOSED 7-UNIT RESIDENTIAL MULTIFAMILY BUILDING
SCALE: N.T.S.

PROFESSIONAL SEAL:
COMMONWEALTH OF MASSACHUSETTS
GIOVANNI GAETANO FODERA
No. 54884
REGISTERED PROFESSIONAL ENGINEER

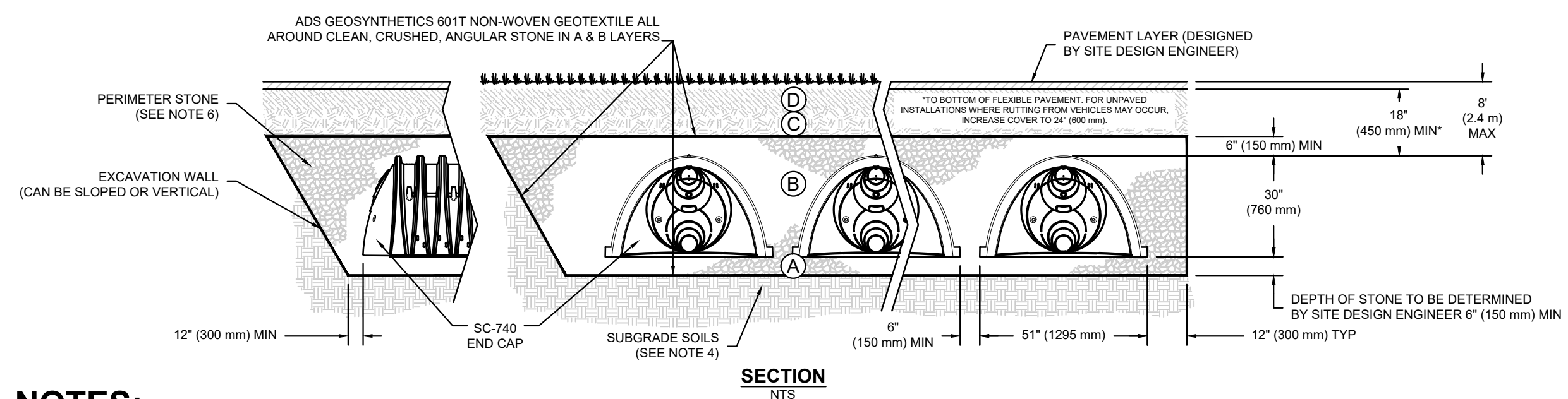
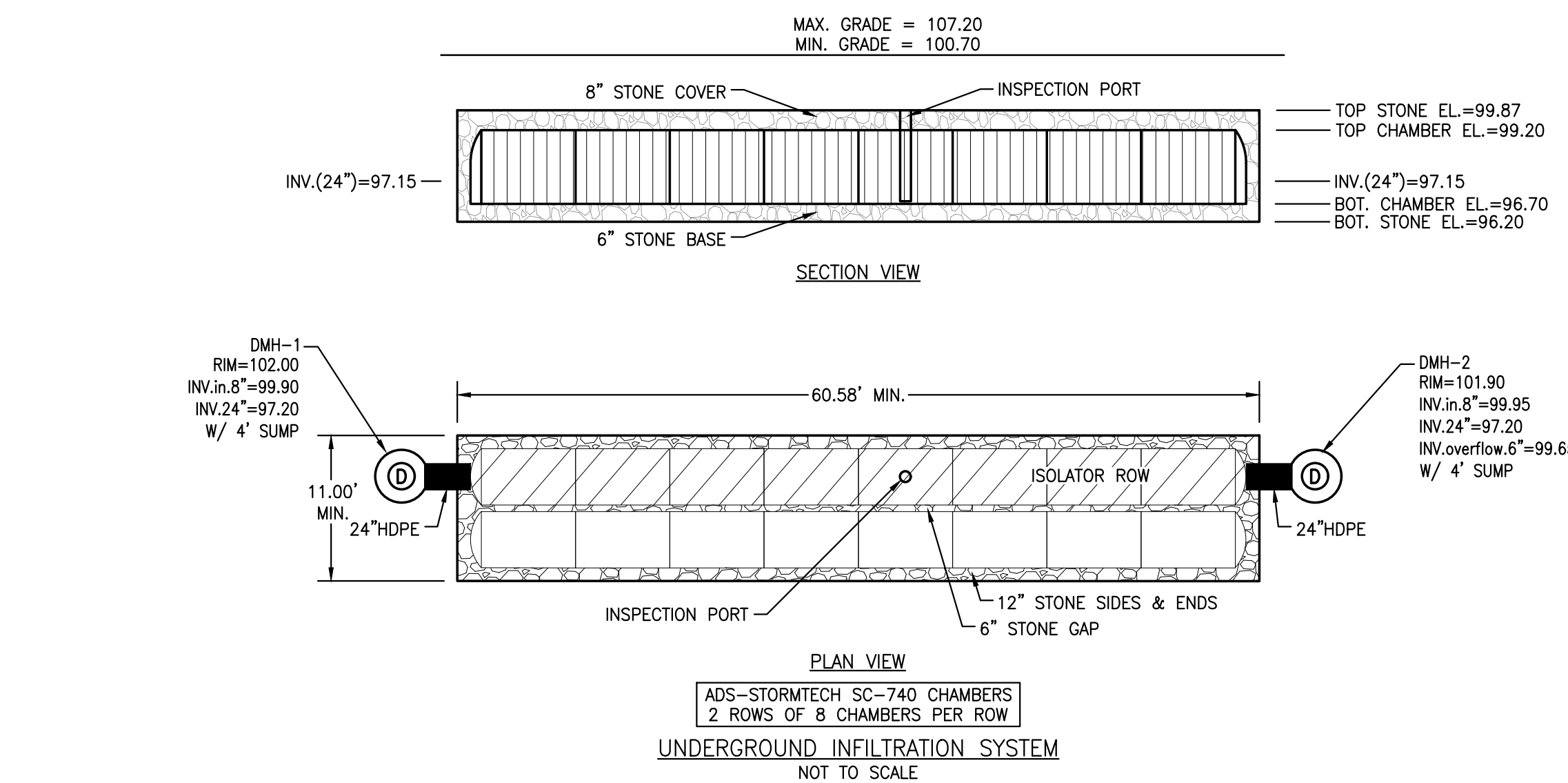
JOB NO.: 20179-176
SHEET TITLE:
DETAILS SHEET 1
SHEET NUMBER:
C-6



OVERFLOW OUTLET HEADWALL AND RIP-RAP SCOUR PROTECTION DETAIL
N.T.S.



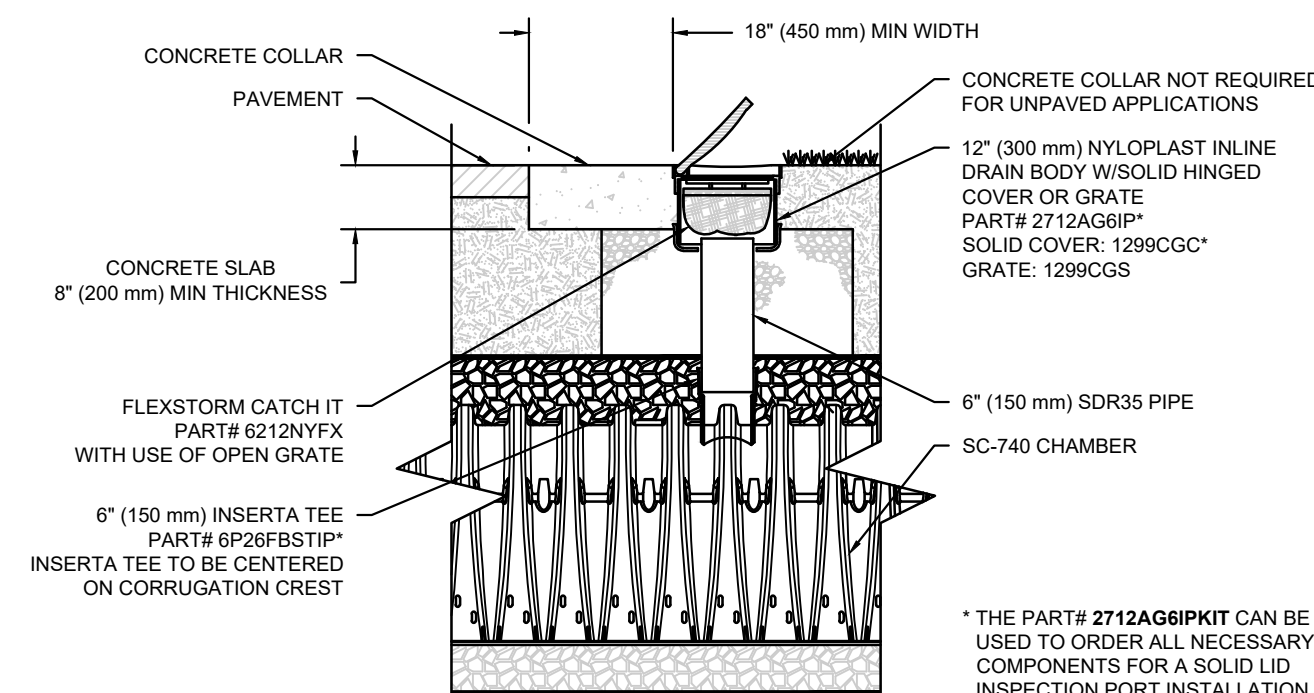
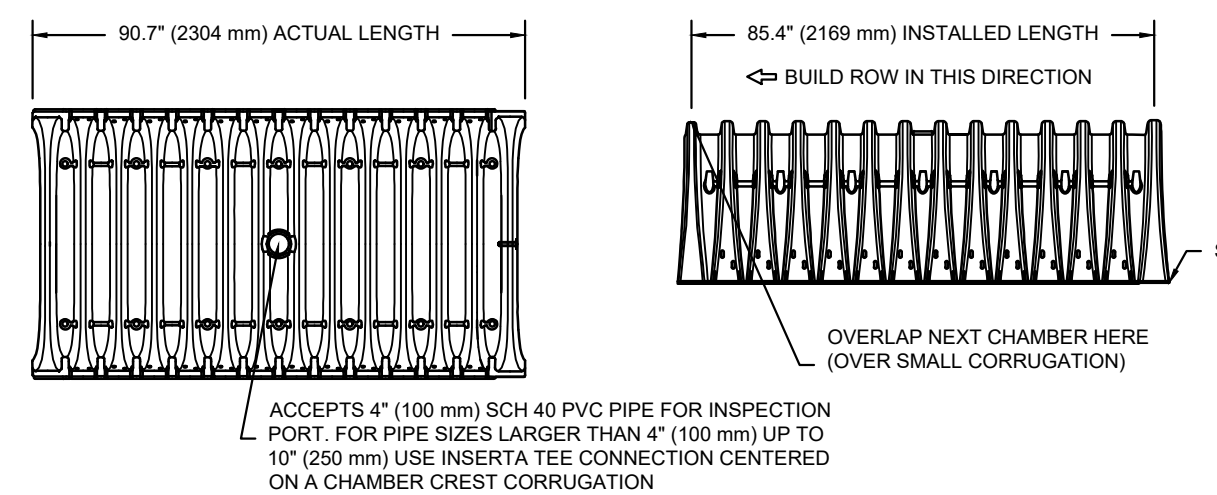
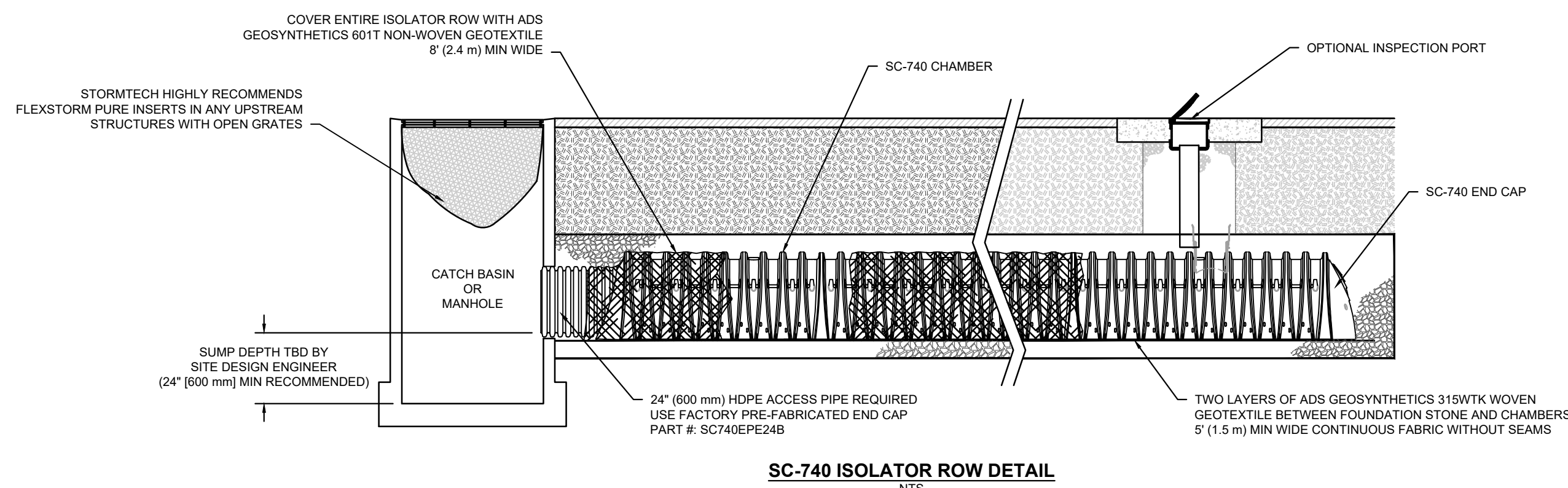
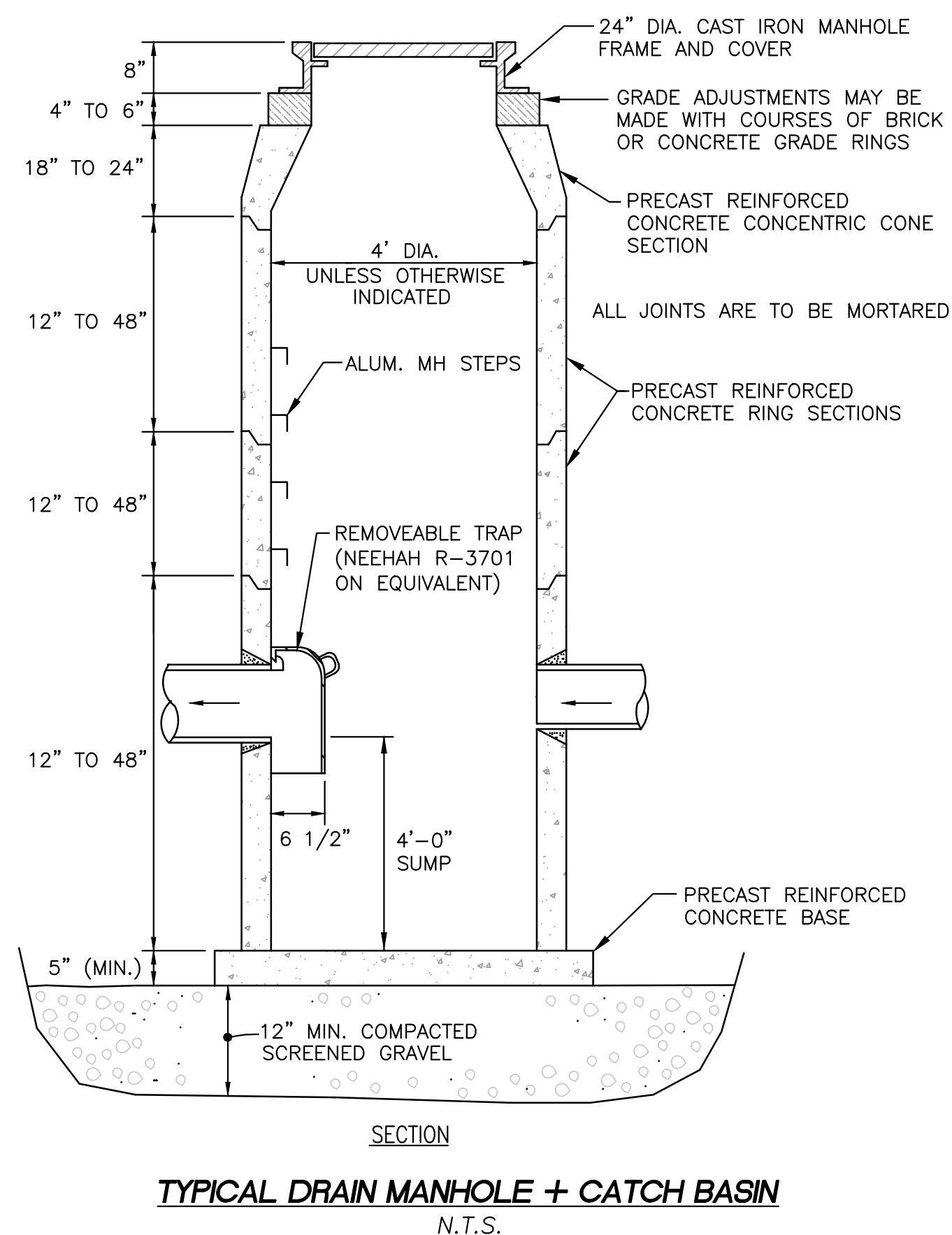
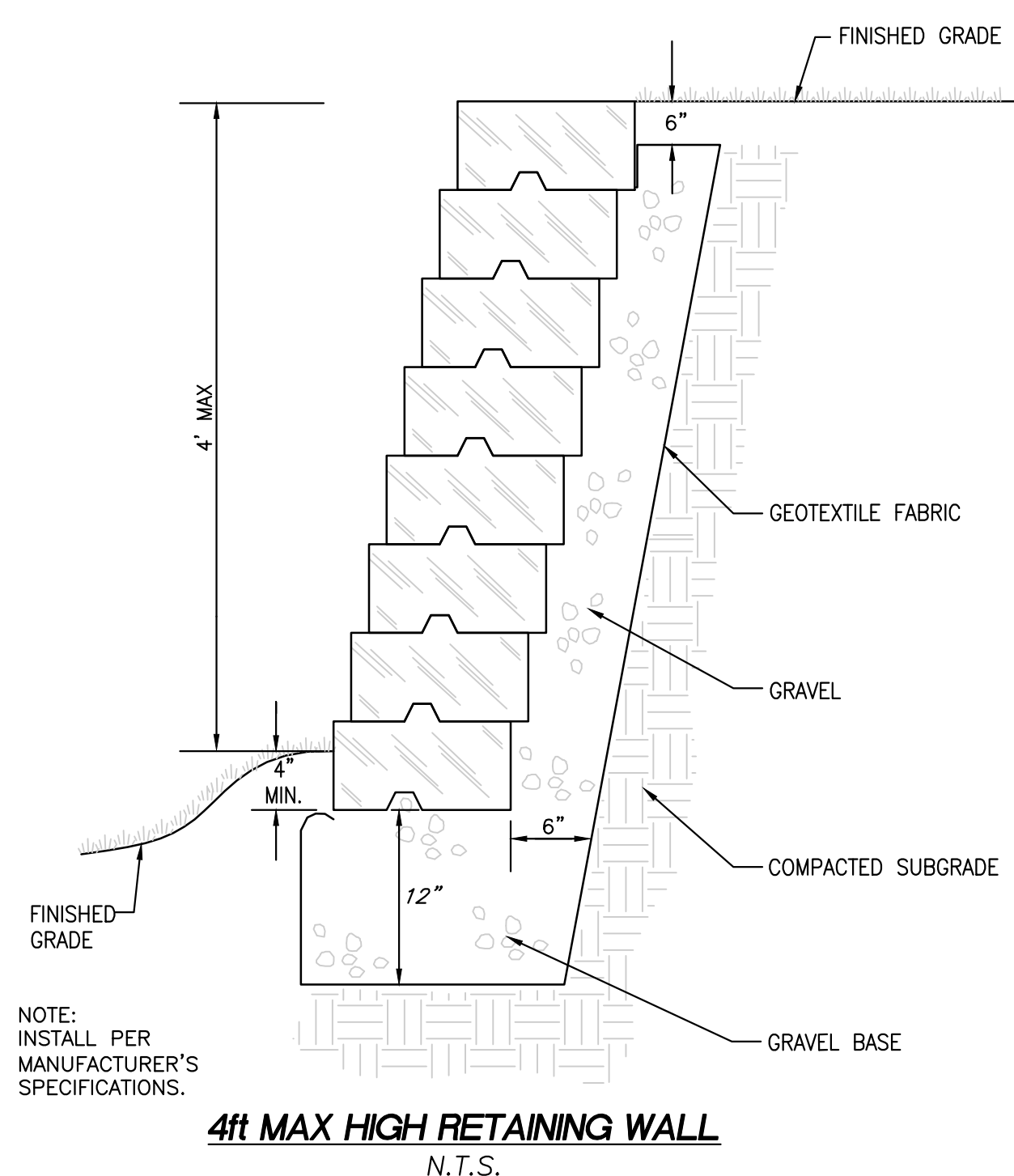
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NOTES:

- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

- (A) DOUBLE WASHED 3/4"-1 1/2" STONE
- (B) DOUBLE WASHED 1/2"-1 1/2" STONE
- (C) CLEAN GRANULAR FILL MATERIAL
- (D) 4"-6" TOPSOIL (LAWN AREA) OR 12" COMPACTED GRAVEL BASE (PAVEMENT AREA)



STORMTECH SC-740 DETAILS (INFILTRATION SYSTEM)
N.T.S.

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373 PLEASANT STREET
MELROSE, MA 02176

PARCEL ID:
MAP B5, LOT 122

PLAN SET:
PROPOSED 7-UNIT RESIDENTIAL MULTI-FAMILY BUILDING
MAY 17, 2021

PROFESSIONAL SEAL:
COMMONWEALTH OF MASSACHUSETTS
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No. 54884
REGISTERED PROFESSIONAL ENGINEER

JOB NO.: 20179-176
SHEET TITLE:
DETAILS
SHEET 2
SHEET NUMBER:
C-7

373 PLEASANT STREET

MELROSE, MA

LANDSCAPE DESIGN PACKAGE

MDLA

MICHAEL D'ANGELO landscape architecture



373 PLEASANT STREET L1 - SITE CONTEXT

AUGUST 16, 2021



VIEW LOOKING NORTHEAST TOWARD PLEASANT STREET



VIEW LOOKING EAST TOWARD 373 PLEASANT STREET



VIEW LOOKING EAST FROM FRANCES STREET TOWARD 373 PLEASANT



VIEW LOOKING NORTH AT 373 PLEASANT STREET



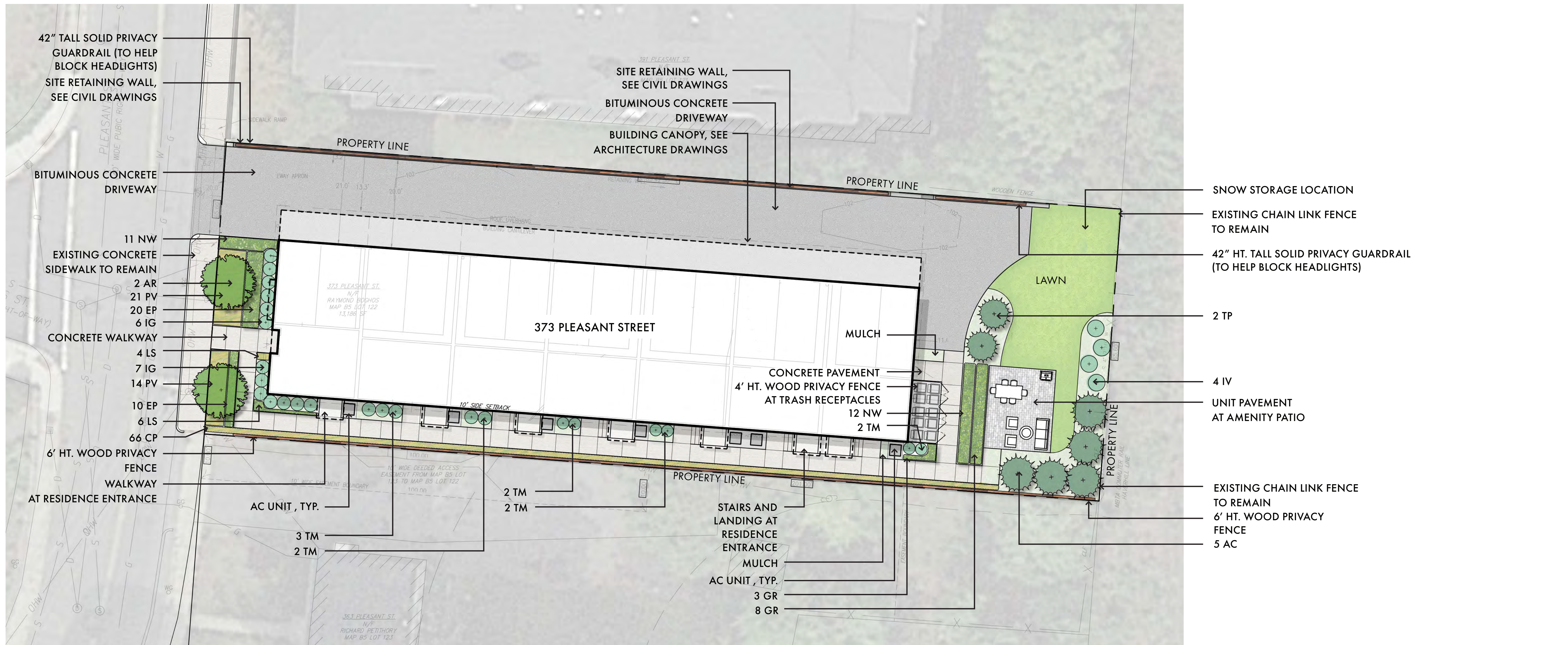
VIEW LOOKING SOUTHWEST TOWARD 373 PLEASANT STREET



VIEW LOOKING WEST AT 373 PLEASANT STREET

373 PLEASANT STREET L2 - EXISTING SITE PHOTOS

AUGUST 16, 2021



PLANT SCHEDULE					
SYMBOL	QUANTITIES	LATIN NAME	COMMON NAME	SIZE	NOTES
SHADE TREES					
AR	2	ACER RUBRUM 'ARMSTRONG'	RED SUNSET MAPLE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
EVERGREEN TREES					
AC	5	ABIES CONCOLOR	WHITE FIR	7-8' TALL	
TP	2	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	7-8' TALL	
SHRUBS					
IG	13	ILEX GLABRA 'SHAMROCK'	INKBERRY	3' TALL	36" O.C. B&B
IV	4	ILEX VERTICILLATA 'RED SPRITE'	WINTERBERRY	5 GALLON	3 CAL. B&B
TM	11	TAXUS X MEDIA 'HICKSI'	HICKS YEW	3' TALL	36" O.C. B&B
PERENNIALS					
EP	30	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL.	24" O.C. CONTAINER
NW	22	NEPETA X FAASSENII 'WALKERS LOW'	'WALKERS LOW' CATMINT	1 GAL.	24" O.C. CONTAINER
GR	11	GERANIUM X ROZANNE	ROZANNE CRANSBILL	1 GAL.	24" O.C. CONTAINER
ORNAMENTAL GRASS					
PV	35	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	1 GAL.	30" O.C. CONTAINER
LS	10	LIRIOPE SPICATA	LILY TURF	1 GAL.	24" O.C. CONTAINER
CP	66	CAREX PENNSYLVATICA	PENNSYLVANIA SEDGE	1 GAL.	24" O.C. CONTAINER



373 PLEASANT STREET L3 - LANDSCAPE DESIGN

AUGUST 16, 2021

MDLA

MICHAEL D'ANGELO landscape architecture



CONCRETE UNIT PAVEMENT



4' HT PRIVACY FENCE



CATMINT



GERANIUM



OPEN LAWN WITH ORNAMENTAL PLANTINGS



FOUNTAIN GRASS



OAKLEAF HYDRANGEA



COLUMNAR RED MAPLE

373 PLEASANT STREET L4 - MATERIALS AND PLANTING PRECEDENTS

AUGUST 16, 2021